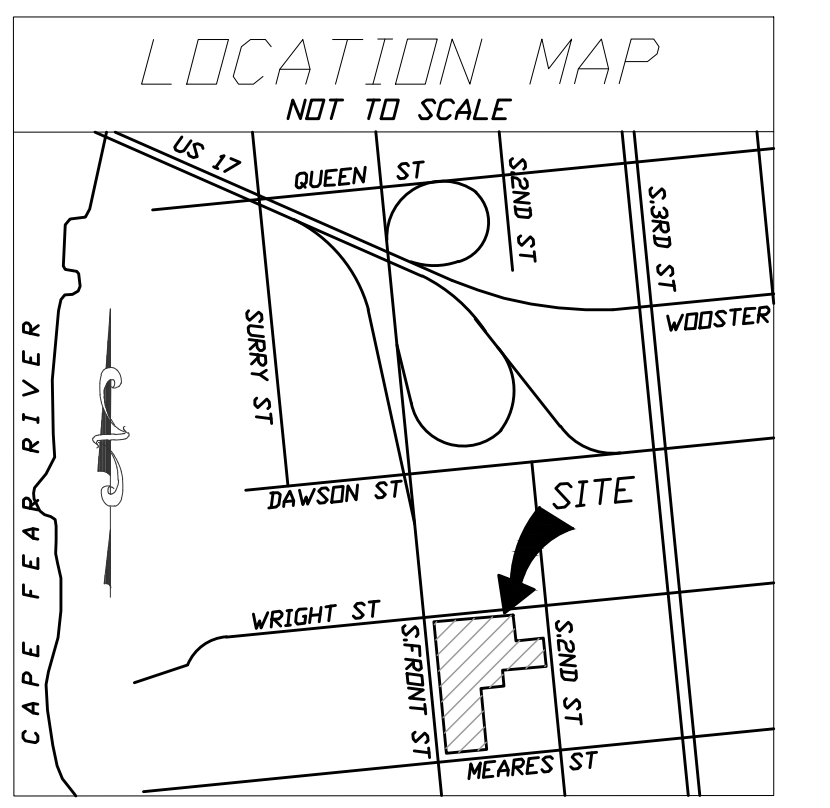


SITE DATA TABLE

PIN	ROS413-015-005-000
OWNER	DTSC, LLC
OWNER ADDRESS	401 CHESTNUT ST, SUITE A WILMINGTON, NC 28401
SITE ADDRESS	102 WRIGHT ST. WILMINGTON, NC 28401
ZONING	UMK URBAN MIXED USE
CURRENT LAND USE	VACANT
ACREAGE	80,213 SF = 1.84 AC.
REQUIRED SETBACKS	0' - ALL SIDES
EXISTING BLDG.	0
EX. GRAVEL DRIVE	10,500 SF
TOTAL EX. IMPERVIOUS	10,500 SF
EX. IMPERVIOUS TO BE REMOVED	10,500 SF
REMAINING EX. IMPERVIOUS	0 SF
PROPOSED UNITS	4 3-STORY UNITS
INFORMATION PER UNIT	
TOTAL BUILDING FOOTPRINT	4,186 SF
BUILDING HEIGHT	34'
COMMERCIAL SPACE	4800 SF
2-BEDROOM UNITS	5
1-BEDROOM UNITS	3
STUDIO UNITS	8
TOTAL PROJECT BEDROOMS	21
SF PER FLOOR	4,186 SF
TOTAL BUILDING SF (FOOTPRINT)	16,744 SF
IMPERVIOUS PAVEMENT	14,800 SF
CONCRETE SIDEWALK	2,175 SF
CONCRETE CURB AND GUTTER	3,814 SF
TOTAL IMPERVIOUS	37,743 SF
PERVIOUS CONCRETE (PARKING)	13,880 SF
TOTAL EX. IMPERVIOUS	37,743 SF = .86 AC = 83.0%
TOTAL PAVEMENT PROVIDED	91 (INCLUDING ADA) *SEE NOTE 11
ADA PARKING SPACES PROVIDED	(4) 2 REGULAR / 2 VAN SPACES
PROPOSED UNITS	4
PERVIOUS CONCRETE (PARKING)	13,880 SF
PERVIOUS CONCRETE (PARKING)	13,880 SF = 1.97 AC.
BUILDING CONSTRUCTION TYPE	WOOD FRAMED, NC TYPE V-B
URBAN LAND USE DESIGNATION	URBAN
ESTIMATED TRIP GENERATION	
RESIDENTIAL	422 TOTAL, 288AM PEAK, 378PM PEAK
COMMERCIAL - GENERAL OFFICE	26 TOTAL, 40AM PEAK, 48PM PEAK
COMMERCIAL - RETAIL	106 TOTAL, 168AM PEAK, 78PM PEAK
DEVELOPED AREA	70,485 SF = 1.6 AC.



CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

- THIS PROPERTY LIES INSIDE THE 1945 CORPORATE LIMITS.
- THERE ARE NO CONSERVATION RESOURCES ON THIS SITE.
- THERE ARE NO LOCAL, STATE OR FEDERALLY RECOGNIZED HISTORIC STRUCTURES OR ARCHAEOLOGICAL RESOURCES ON THIS SITE.
- THERE ARE NO WETLANDS ON THIS SITE.
- NO ENDANGERED SPECIES OR CRITICAL HABITAT OCCUR ON THIS SITE.
- EXISTING SIDEWALK ON MEARES ST. NO ADDITIONAL TRANSIT FACILITIES EXIST.
- ALL UTILITY AND EQUIPMENT WILL BE CONTAINED ON THE SITE.
- ALL PERIMETER SIDEWALKS TO BE 5' WIDE TO BE CONSISTENT WITH EXISTING SIDEWALKS ON THE BLOCK.
- INTERIOR SIDEWALKS TO BE 4' WIDE.
- PERVIOUS CONCRETE PARKING IS GETTING 100% PERVIOUS CREDIT.
- PERMITTED PARKING: 64 UNITS x 2.5 = 160 SPACES
4800 SF COMMERCIAL / 200 SF PER = 24 SPACES
TOTAL SPACES ALLOWED: 184

SURVEY BY HANOVER DESIGN SERVICE, P.A.
1123 FLORAL PARKWAY
WILMINGTON, NC 28403

NOTE: TREE PROTECTION FENCING IS REQUIRED AT A RATE OF ONE FOOT PER DIAMETER INCH AROUND THE PROTECTED TREES. REFER TO DRAWING MEASUREMENTS OF TREES.

TREE RETENTION, REMOVAL AND PLANTINGS
1.6 ACRES DEVELOPED. 1.6 x 15 TREES PER ACRE = 24 TREES REQUIRED

ON-SITE TREE REMOVAL

THREE DEAD TREES TO BE REMOVED: (2) 18" OAKS, (1) 14" OAK

SIGNIFICANT TREES TO BE REMOVED:

TYPE	DBH	QTY	% MITIGATION	MULTIPLIER	DIVISION #	EQUATION	# TREES
OAK	25"	1	100 (1.0)	2	3	25x1x2=50/3=16.6	17

REGULATED TREES TO BE REMOVED:

TYPE	DBH	QTY	% MITIGATION	MULTIPLIER	DIVISION #	EQUATION	# TREES
OAK	21"	1	100 (1.0)	1	3		
OAK	17"	1	100 (1.0)	1	3		
OAK	15"	2	100 (1.0)	1	3		
OAK	14"	2	100 (1.0)	1	3		
OAK	12"	2	100 (1.0)	1	3		
OAK	10"	1	100 (1.0)	1	3		
OAK	8"	1	100 (1.0)	1	3		

TOTALS REGULATED TREES TO BE REMOVED:

TYPE	DBH	QTY	% MITIGATION	MULTIPLIER	DIVISION #	EQUATION	# TREES
OAK	138"	1	100 (1.0)	1	3	138x1x1=138/3=46	46
GRAND TOTAL						17+46=63	63

ON-SITE TREE PRESERVATION

REGULATED TREES TO BE PRESERVED

TYPE	DBH	QTY	CREDIT FACTOR	CREDITS
OAK	22"	2	4	8
OAK	20"	2	4	8
OAK	19"	2	4	8
OAK	18"	2	4	8
OAK	17"	3	3	9
OAK	14"	1	3	3
OAK	12"	2	3	6
OAK	11"	2	2	4
OAK	10"	2	2	4
OAK	9"	3	2	6
OAK	8"	3	2	6
PECAN	11"	1	2	2

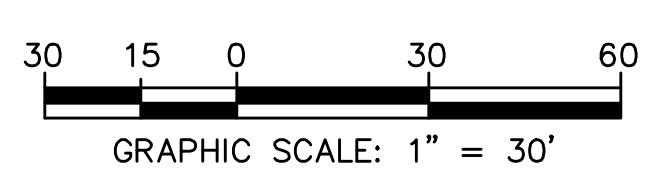
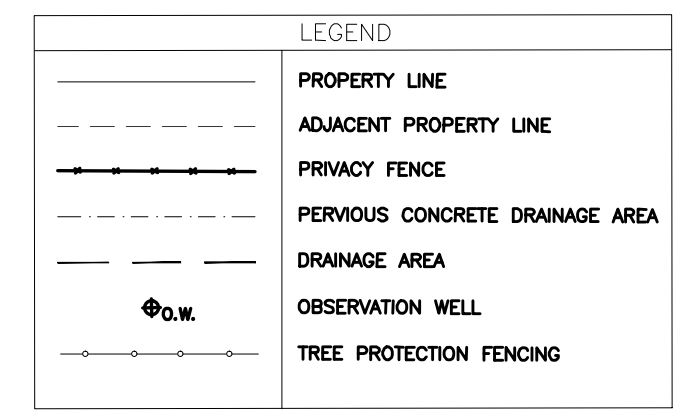
ADDITIONAL TREES TO BE PRESERVED

TYPE	DBH	QTY	CREDIT FACTOR	CREDITS
OAK	6"	1	2	2

TOTAL CREDITS FOR SITE: 74

OFF-SITE TREES
SIGNIFICANT TREES REMOVED: (1) 25" DISEASED ELM (PER AARON REESE)
SIGNIFICANT TREES TO BE PRESERVED:
26" OAK: 1
25" OAK: 1
DOCUMENTED TREES TO BE PRESERVED:
17" OAKS: 2
9" OAKS: 3

TOTAL CREDITS ARE GREATER THAN NUMBER OF TREES REQUIRED.
6 ADDITIONAL DARLINGTON OAKS ARE SPECIFIED. THESE TREES ARE CONSIDERED ADDITIONAL BECAUSE THEY ARE NOT REQUIRED IN THE PARKING ISLAND, BUT ARE ADDED FOR BEAUTIFICATION.



FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

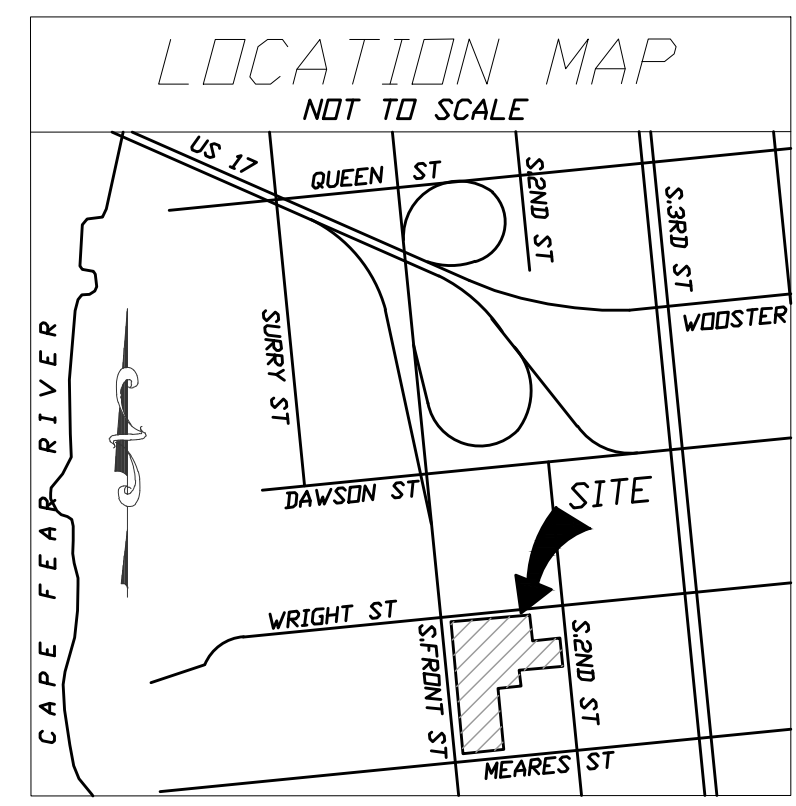
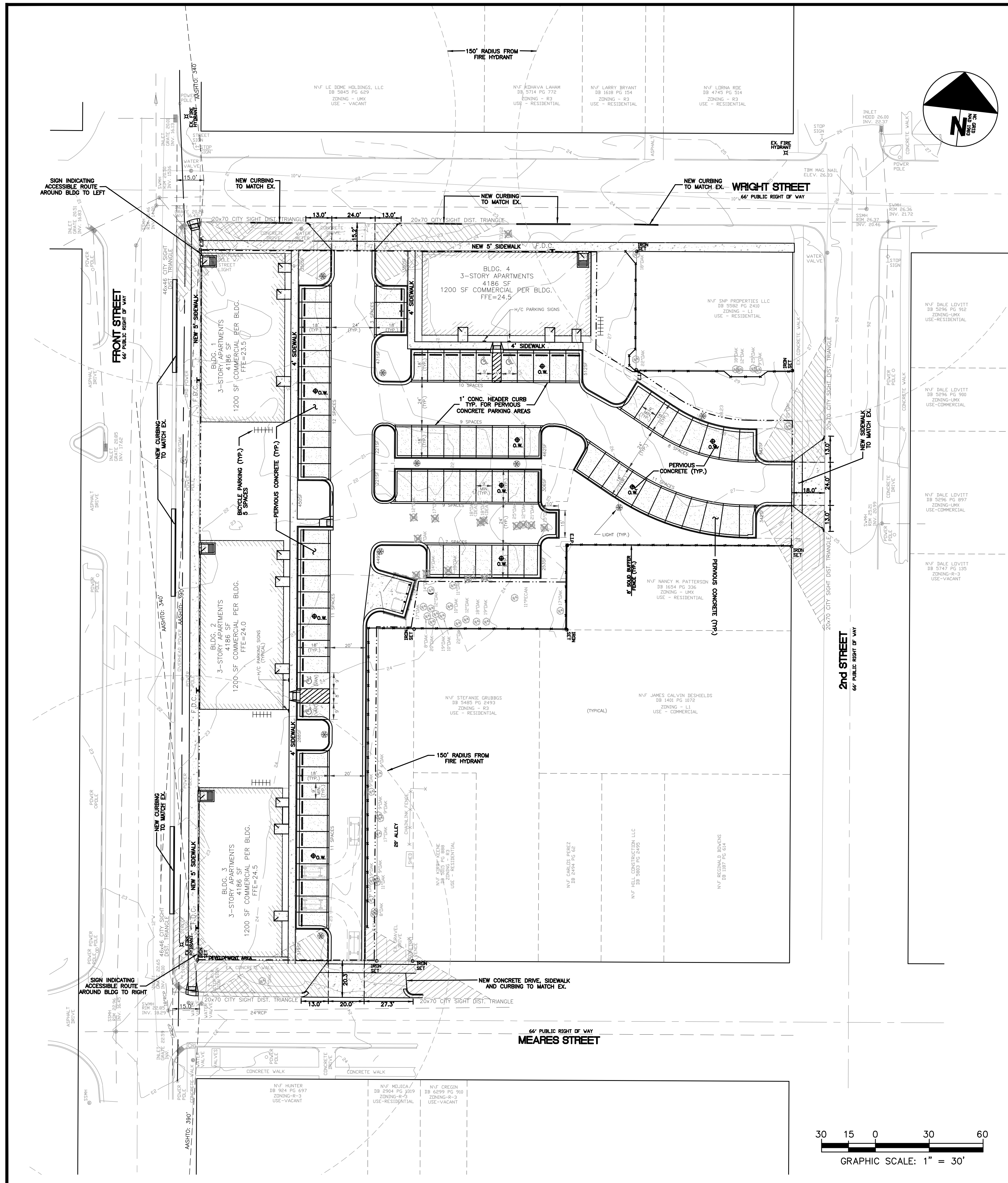
REV. NO.	DESCRIPTION	DATE

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NORTH CAROLINA

EXISTING CONDITIONS, SITE
INVENTORY & DEMOLITION

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE: 11/7/22
Scale: 1"=30'
Drawn: NNC
Checked: WSL
Project No: HA0121
Sheet No: C1



SITE DATA TABLE	
PIN	R05413-015-005-000
OWNER	DTSC LLC
OWNER ADDRESS	401 CHESTNUT ST., SUITE A WILMINGTON, NC 28401
SITE ADDRESS	102 WRIGHT ST WILMINGTON, NC 28401
ZONING	UMX - URBAN MIXED USE
CURRENT LAND USE	VACANT
ACREAGE	80,213 SF = 1.84 AC.
REQUIRED SETBACKS	0' - ALL SIDES
EXISTING BLDG.	0
EX. GRAVEL DRIVE	10,500 SF
TOTAL EX. IMPERVIOUS	10,500 SF
EX. IMPERVIOUS TO BE REMOVED	0 SF
REMAINING EX. IMPERVIOUS	0 SF
PROPOSED UNITS	4 3-STORY UNITS
INFORMATION PER UNIT	
TOTAL BUILDING FOOTPRINT	4,168 SF
BUILDING HEIGHT	34'
COMMERCIAL SPACE	4800 SF
2-BEDROOM UNITS	3
1-BEDROOM UNITS	3
STUDIO UNITS	8
TOTAL BEDS	21
TOTAL PROJECT BEDROOMS	84
SF PER FLOOR	4,168 SF
TOTAL BUILDING SF (FOOTPRINT)	18,744 SF
IMPERVIOUS PAVEMENT	14,900 SF
CONCRETE CURB AND GUTTER	2,170 SF
TOTAL IMPERVIOUS	37,743 SF
PERVIOUS CONCRETE (PARKING)	10,980 SF
ADA PARKING SPACES PROVIDED	37,743 SF = .86 AC = 63.9%
LOT COVERAGE/PROP. BUILT-UPON AREA	91 (INCLUDING ADA) *SEE NOTE 11
TOTAL PARKING SPACES PROVIDED	91 (INCLUDING ADA) *SEE NOTE 11
ADA PARKING SPACES PROVIDED	0 2 REGULAR / 2 VAN SPACES
BICYCLE PARKING REQUIRED/PROVIDED	4/20
DISTURBED AREA	85,620 SF = 1.97 AC.
BUILDING CONSTRUCTION TYPE	WOOD FRAMED, NC TYPE V-B
CAMA LAND USE DESIGNATION	URBAN
ESTIMATED TRIP GENERATION	422 TOTAL 298AM PEAK, 376PM PEAK
COMMERCIAL - GENERAL OFFICE	28 TOTAL 40AM PEAK, 46PM PEAK
COMMERCIAL - RETAIL	108 TOTAL 1,08AM PEAK, 78PM PEAK
DEVELOPED AREA	70,465 SF = 1.6 AC.

- NOTES:
- THE CONSTRUCTION SITE IS NOT LOCATED IN A FEMA FLOOD HAZARDOUS ZONE.
 - FIRM # 3720311700K, JUNE 2, 2006
 - THERE ARE NO WETLANDS ON THE SITE.
 - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
 - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
 - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE METER BOX. ANY BACKFLOW PREVENTION DEVICES REQUIRED WILL NEED TO BE ON THE LIST OF DEVICES APPROVED BY USFCOCHR OR ASSE.
 - ANY IRRIGATION SYSTEM SUPPLY BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS.
 - CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
 - THE BELLSOUTH CONTACT IS BUILDING DAYVAULT. HE IS THE BUILDING INDUSTRY CONSULTANT (910) 392-8712. PLEASE CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
 - ALL PLANTED AND RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONAL ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, TENANT AND RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
 - ANY PLANT MATERIAL THAT WAS PREVIOUSLY INSTALLED ON THE SITE TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED.
 - AS PART OF THE FINAL ZONING INSPECTION FOR THIS PROJECT, A SURVEY OF THE SITE LANDSCAPING WILL BE CONDUCTED. PLANT MATERIAL THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED BEFORE A FINAL ZONING APPROVAL IS ISSUED.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - A RAIN/FREEZE SENSOR SHALL BE INSTALLED AS PART OF ANY IRRIGATION SYSTEM USED ON THE SITE.
 - CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE PROPERLY LOCATED.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCHR OR ASSE.
 - CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
 - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
 - PARKING SPACES NOT REQUIRED FOR STORAGE FACILITIES. SIX ARE PROVIDED WITH TWO BEING ADA.
 - ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
 - IMMEDIATELY NOTIFY CITY OF WILMINGTON TRAFFIC ENGINEERING AT 910-341-7888 IF ANY TRAFFIC SIGNAL FACILITIES OR CITY-OWNED STREETLIGHT FACILITIES ARE DAMAGED.
 - DAMAGED FACILITIES SHALL BE REPLACED BY AN APPROVED CONTRACTOR, ACCORDING TO STANDARD NCDOT REPLACEMENT SCHEDULES AND CURRENT NCDOT DESIGN STANDARDS.
 - ALL REPAIR/REPLACEMENT OF TRAFFIC SIGNAL INFRASTRUCTURE SHALL BE COORDINATED WITH THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION.
 - WATER AND SEWER IS AVAILABLE FROM CFPUA.
 - UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPT. FROM PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT WILMINGTON FIRE DEPT. DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
 - NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
 - EXISTING WATER AND SEWER BY CFPUA.
 - EXISTING STORMWATER SYSTEM BY CITY OF WILMINGTON.
 - SOLID WASTE DISPOSAL WILL NOT BE PROVIDED TO UNITS.
 - ANY REQUIRED INSTALLATION OR RELOCATION OF TRAFFIC SIGNS/PAVEMENT MARKINGS IS THE RESPONSIBILITY OF THE PROJECT DEVELOPER. PLEASE COORDINATE WITH CITY TRAFFIC SIGNS AND PAVEMENT MARKINGS MANAGER/SUPERVISOR PRIOR TO INSTALLATION/RELOCATION OF ANY TRAFFIC SIGNS OR MARKINGS IN PUBLIC ROW.
 - CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.

- THIS PROPERTY LIES INSIDE THE 1945 CORPORATE LIMITS.
- THERE ARE NO CONSERVATION RESOURCES ON THE SITE.
- THERE ARE NO WETLANDS OR FRESHWATER OR HISTORIC STRUCTURES OR ARCHAEOLOGICAL RESOURCES ON THE SITE.
- THERE ARE NO LOCALITIES ON THIS SITE.
- NO ENDANGERED SPECIES OR CRITICAL HABITAT OCCUR ON THE SITE.
- EXISTING SIDEWALK ON MEARES ST. NO ADDITIONAL TRANSIT FACILITIES EXIST.
- ALL UTILITY AND EQUIPMENT WILL BE CONTAINED ON THE SITE.
- ALL PERMETER SIDEWALKS TO BE 5' WIDE TO BE CONSISTENT WITH EXISTING SIDEWALKS ON THE BLOCK.
- INTERIOR SIDEWALKS TO BE 4' WIDE.
- PERVIOUS CONCRETE PARKING IS GETTING 100% PERVIOUS CREDIT.
- PERMITTED PARKING: 64 UNITS = 160 SPACES / 2 VAN SPACES / 4800 SF COMMERCIAL / 200 SF PER = 24 SPACES
TOTAL SPACES ALLOWED: 184

SURVEY BY HANOVER DESIGN SERVICE, P.A.
1123 FLORENCE PARKWAY
WILMINGTON, NC 28403
910-343-8002

LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PRIVACY FENCE
	PERVIOUS CONCRETE DRAINAGE AREA
	DRAINAGE AREA
	OBSERVATION WELL
	TREE PROTECTION FENCING

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

- FIRE & LIFE SAFETY NOTES:**
- Contractor shall maintain an all-weather access for emergency vehicles at all times during construction
 - A hydrant must be within 150' of the FDC (measured as the truck drives for practical use)
 - FDC must be within 40' of fire apparatus placement
 - Landscaping or parking cannot block or impede the FDC or fire hydrants. A 3-foot clear space shall be maintained around the circumference of the hydrant and FDC
 - Additional fire protection and/or accessibility requirements may be required due to any special circumstances concerning the project.
 - Private Underground Fire Lines require a separate underground fire line permit from the Wilmington Fire and Life Safety Division 910-343-0696
 - Contractor shall submit a Radio Signal Strength Study for all commercial buildings that demonstrates that existing emergency responder radio signal levels meet the requirements of Section 510 of the 2018 NC Fire Code.
 - All isolation valves 1 1/2" or less and between 1/2" and 1" are required to be electrical supervised.
 - Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees. No construction workers, tools, materials or vehicles are permitted within the tree protection fencing.
 - Any new proposed hydrants must be brought into service prior to combustibles being delivered to the jobsite.

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NORTH HANOVER COUNTY NORTH CAROLINA

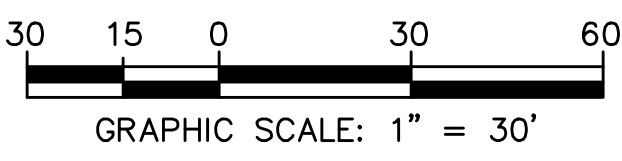
SITE PLAN

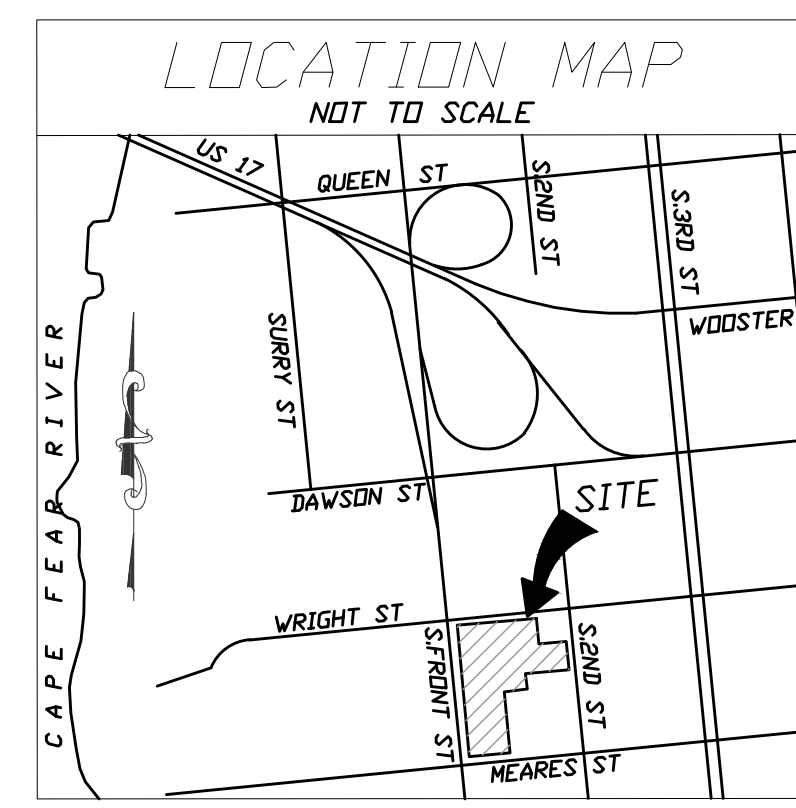
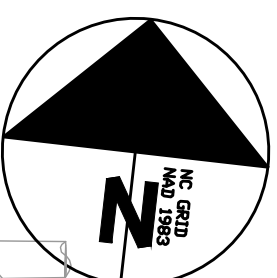
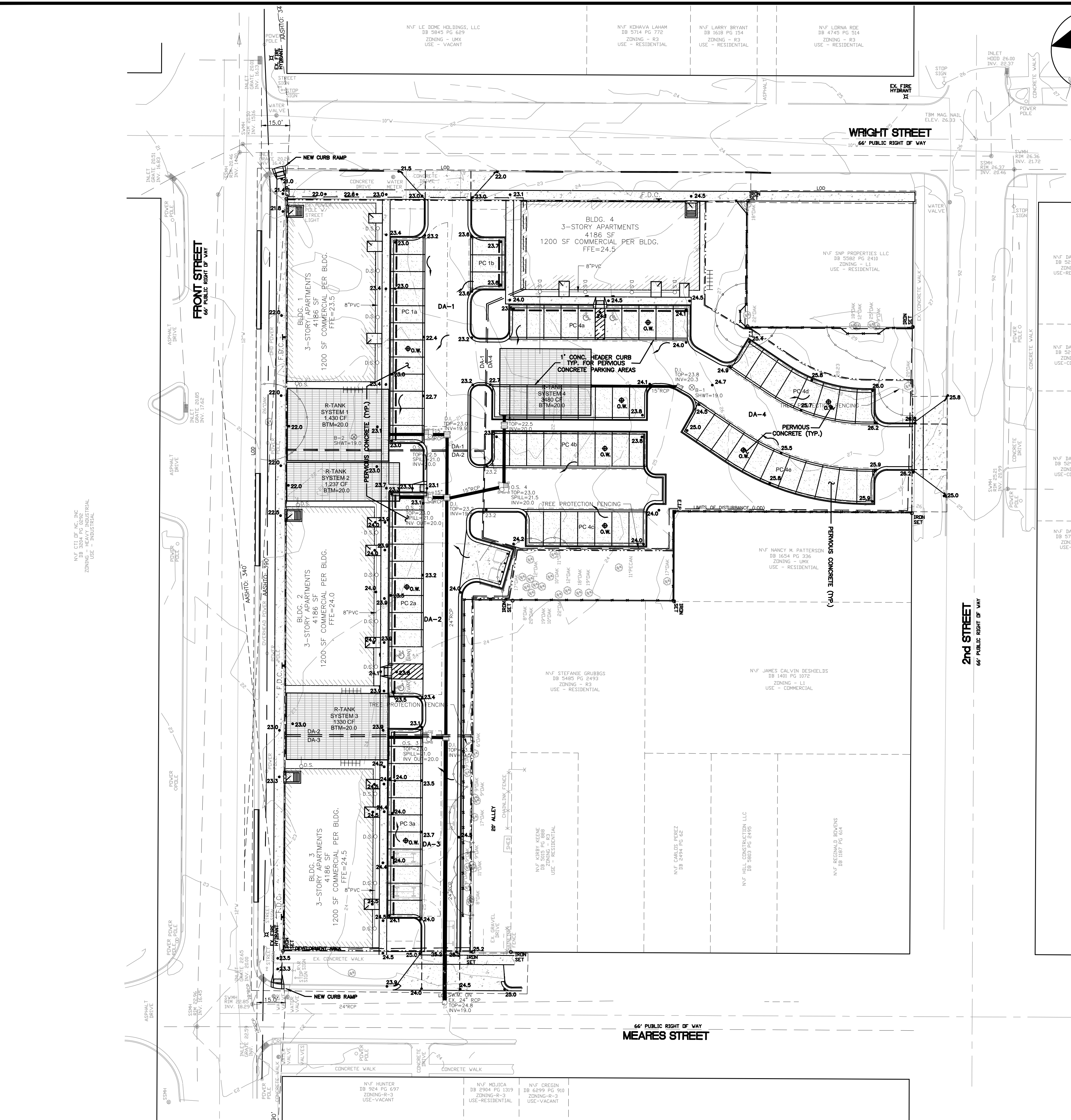
RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE: 11/7/22
Scale: 1"=30'
Drawn: NNC
Checked: WSL
Project No: HA0121
Sheet No: C2

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV. NO.	DESCRIPTION	DATE





SITE DATA TABLE	
PN	RS413-015-005-000
OWNER	DTSC, LLC
OWNER ADDRESS	401 CHESTNUT ST., SUITE A
	WILMINGTON, NC 28401
SITE ADDRESS	102 WRIGHT ST.
	WILMINGTON, NC 28401
ZONING	UMX - URBAN MIXED USE
CURRENT LAND USE	VACANT
ACREAGE	80,213 SF = 1.84 AC.
REQUIRED SETBACKS	0' - ALL SIDES
EXISTING BLDG.	0
EX. GRAVEL DRIVE	10,500 SF
TOTAL EX. IMPERVIOUS	10,500 SF
EX. IMPERVIOUS TO BE REMOVED	10,500 SF
REMAINING EX. IMPERVIOUS	0 SF
PROPOSED UNITS	4 3-STORY UNITS
INFORMATION PER UNIT	
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BUILDING HEIGHT	34'
COMMERCIAL SPACE	4800 SF
2-BEDROOM UNITS	5
1-BEDROOM UNITS	3
STUDIO UNITS	6
TOTAL UNITS	21
TOTAL PROJECT BEDROOMS	84
SF PER FLOOR	4,186 SF
TOTAL BUILDING SF (FOOTPRINT)	16,744 SF
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CONCRETE SIDEWALK	2,175 SF
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PERVIOUS CONCRETE (PARKING)	13,880 SF
LOT COVERAGE/PROP. BUILT-UPON AREA	37,743 SF = .86 AC = 63.9%
TOTAL PARKING SPACES PROVIDED	91 (INCLUDING ADA) *SEE NOTE 11
ADA PARKING SPACES PROVIDED	(4) 2 REGULAR / 2 VAN SPACES
BICYCLE PARKING REQUIRED/PROVIDED	4/20
DISTURBED AREA	85,620 SF = 1.97 AC
BUILDING CONSTRUCTION TYPE	WOOD FRAMED, INC. TYPE V-B
CAMA LAND USE DESIGNATION	URBAN
ESTIMATED TRIP GENERATION	
RESIDENTIAL	422 TOTAL, 290AM PEAK, 370PM PEAK
COMMERCIAL - GENERAL OFFICE	28 TOTAL, 40AM PEAK, 40PM PEAK
COMMERCIAL - RETAIL	108 TOTAL, 100AM PEAK, 70PM PEAK
DEVELOPED AREA	70,485 SF = 1.6 AC.

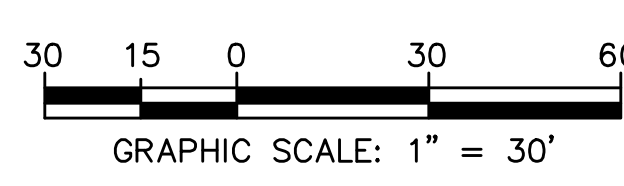
- NOTES:**
- THE CONSTRUCTION SITE IS NOT LOCATED IN A FEMA FLOOD HAZARDOUS ZONE.
 - FIRM # 372031700K, JUNE 2, 2006
 - THERE ARE NO WETLANDS ON THE SITE.
 - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THESE AREAS.
 - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
 - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE METER BOX. ANY BACKFLOW PREVENTION DEVICES REQUIRED WILL NEED TO BE ON THE LIST OF DEVICES APPROVED BY USFCOCHR OR ASSE.
 - ANY IRRIGATION SYSTEM SUPPLY BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS.
 - CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
 - THE BELLSOUTH CONTACT IS STEVE DAYVAULT. HE IS THE BUILDING INDUSTRY CONSULTANT (910) 392-8712. PLEASE CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
 - ALL PLANTED AND RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONAL ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, TENANT AND RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
 - ANY PLANT MATERIAL THAT WAS PREVIOUSLY INSTALLED ON THE SITE TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED.
 - AS PART OF THE FINAL ZONING INSPECTION FOR THIS PROJECT, A SURVEY OF THE SITE LANDSCAPING WILL BE CONDUCTED. PLANT MATERIAL THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED BEFORE A FINAL ZONING APPROVAL IS ISSUED.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - A RAIN/FREEZE SENSOR SHALL BE INSTALLED AS PART OF ANY IRRIGATION SYSTEM USED ON THE SITE.
 - CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE PROPERLY LOCATED.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET, NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
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 - CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
 - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
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 - TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3911 FOR INFORMATION.
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 - IMMEDIATELY NOTIFY CITY OF WILMINGTON TRAFFIC ENGINEERING AT 910-341-7888 IF ANY TRAFFIC SIGNAL FACILITIES OR CITY-OWNED STREETLIGHT FACILITIES ARE DAMAGED.
 - DAMAGED FACILITIES SHALL BE REPLACED BY AN APPROVED CONTRACTOR, ACCORDING TO STANDARD NCDOT REPLACEMENT SCHEDULES AND CURRENT NCDOT DESIGN STANDARDS.
 - ALL REPAIR/REPLACEMENT OF TRAFFIC SIGNAL INFRASTRUCTURE SHALL BE COORDINATED WITH THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION.
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 - UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPT. FROM PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT WILMINGTON FIRE DEPT. DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
 - NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
 - EXISTING WATER AND SEWER BY CFPUA.
 - EXISTING STORMWATER SYSTEM BY CITY OF WILMINGTON.
 - SOLID WASTE DISPOSAL WILL NOT BE PROVIDED TO UNITS.

LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERVIOUS CONCRETE
	PERVIOUS CONCRETE DRAINAGE AREA
	DRAINAGE AREA
	OBSERVATION WELL
	TREE PROTECTION FENCING

SYSTEM	STORAGE VOLUME	LENGTH	WIDTH	BOTTOM ELEV.	O.S. SPILLWAY ELEV.	MODULE HEIGHT
DA-1	1430 CF	53.3	38	20.0	21.0	1 (9.5")
DA-2	1237 CF	60	21	20.0	21.0	1 (9.5")
DA-3	1423 CF	54	35	20.0	21.0	1 (9.5")
DA-4	2400 CF	48	35	20.0	21.5	2 (19")

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name: _____ Date: _____
Planning
Traffic
Fire



FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

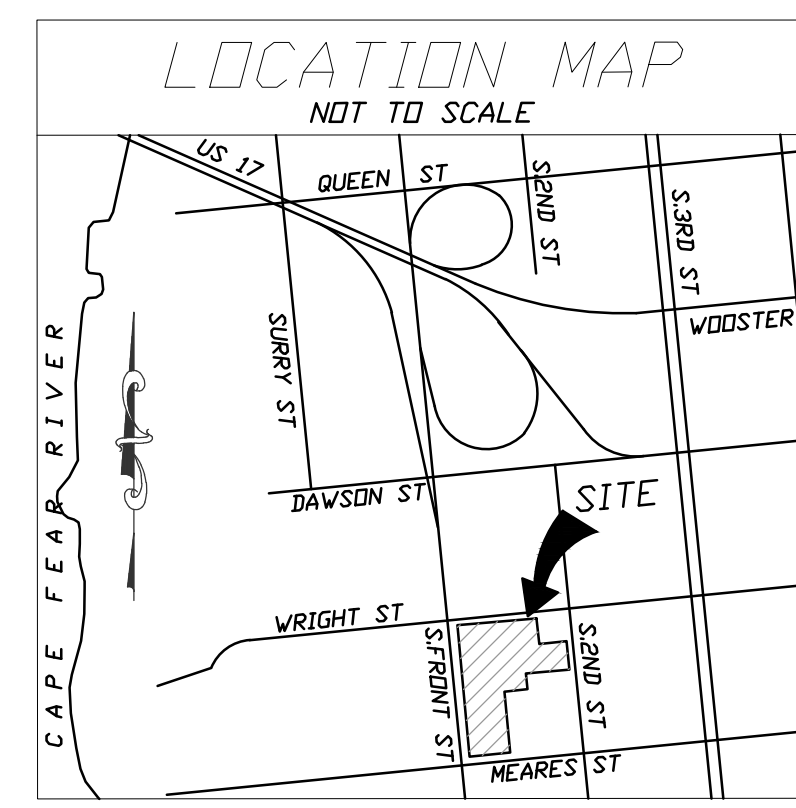
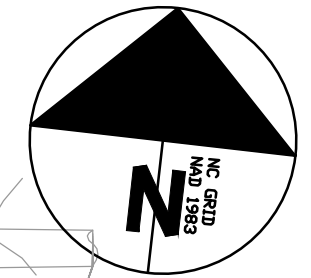
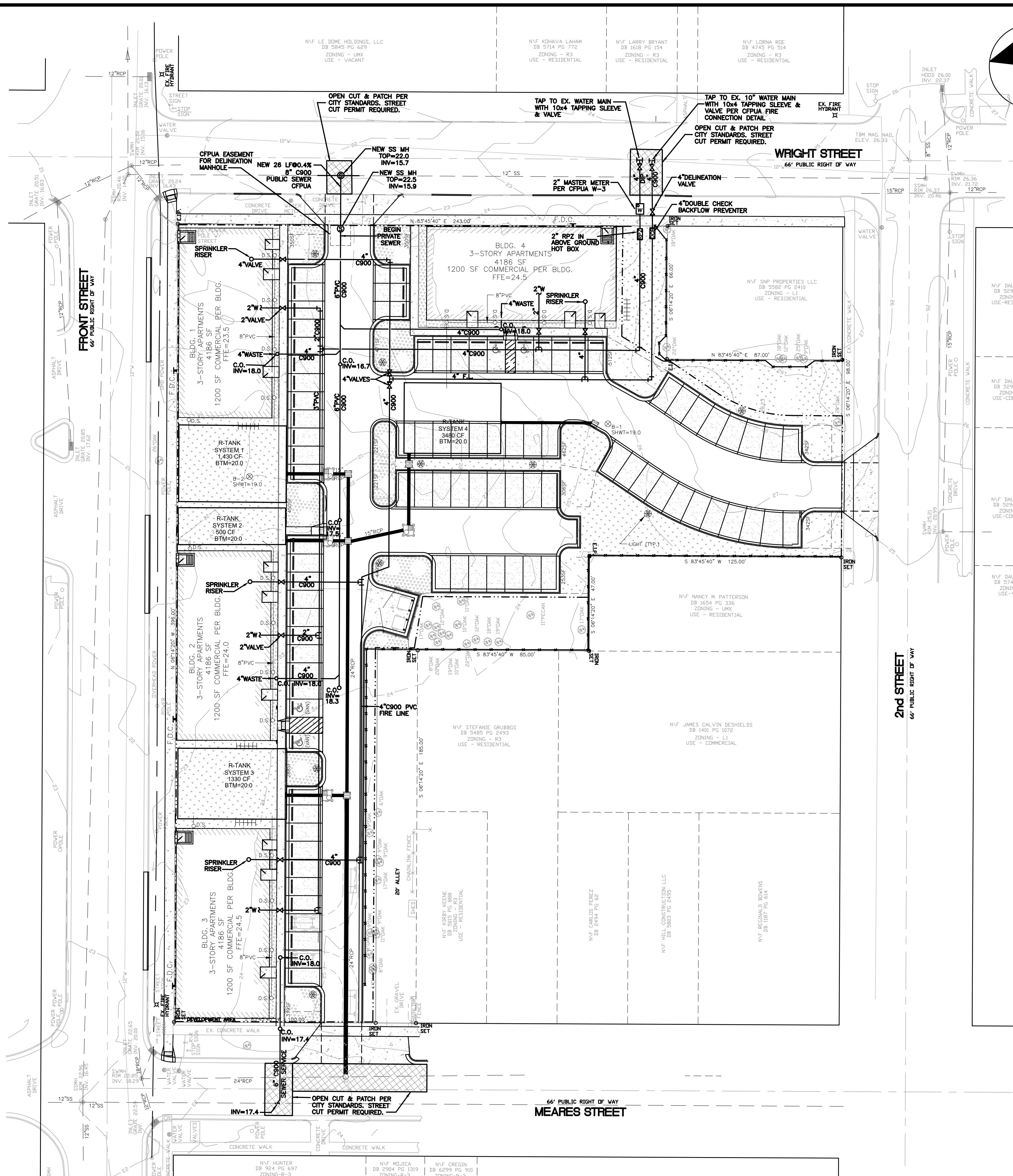
REV. NO.	DESCRIPTION	DATE

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NORTH CAROLINA
NEW HANOVER COUNTY

EROSION CONTROL, GRADING AND STORMWATER PLAN

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE: 11/7/22
Scale: 1"=30'
Drawn: NNC
Checked: WSL
Project No: HA0121
Sheet No: **C3**



SITE DATA TABLE	
PIN	RS413-015-005-000
OWNER	DTSC, LLC
OWNER ADDRESS	401 CHESTNUT ST., SUITE A WILMINGTON, NC 28401
SITE ADDRESS	102 WRIGHT ST. WILMINGTON, NC 28401
ZONING	UMX - URBAN MIXED USE
CURRENT LAND USE	VACANT
ACREAGE	80,213 SF = 1.84 AC.
REQUIRED SETBACKS	0' - ALL SIDES
EXISTING BLDG.	10,500 SF
EX. GRAVEL DRIVE	10,500 SF
TOTAL EX. IMPERVIOUS	10,500 SF
EX. IMPERVIOUS TO BE REMOVED	10,500 SF
REMAINING EX. IMPERVIOUS	0 SF
PROPOSED UNITS	4 3-STORY UNITS
INFORMATION PER UNIT	
TOTAL BUILDING FOOTPRINT	4,186 SF
BUILDING HEIGHT	34'
COMMERCIAL SPACE	4800 SF
2-BEDROOM UNITS	5
1-BEDROOM UNITS	3
STUDIO UNITS	8
TOTAL BEDS	21
TOTAL PROJECT BEDROOMS	84
SF PER FLOOR	4,186 SF
TOTAL BUILDING SF (FOOTPRINT)	16,744 SF
IMPERVIOUS PAVEMENT	14,900 SF
CONCRETE SIDEWALK	2,175 SF
CONCRETE CURB AND GUTTER	3,924 SF
TOTAL IMPERVIOUS	37,743 SF
PERVIOUS CONCRETE (PARKING)	13,850 SF
TOTAL COVERED/PERVIOUS BUILT-UPON AREA	37,743 SF = 86 AC = 63.0%
ADA PARKING SPACES PROVIDED	(4) 2 REGULAR / 2 VAN SPACES
BICYCLE PARKING REQUIRED/PROVIDED	(2) 2
ADJACENT TRIP GENERATION	URBAN
ESTIMATED TRIP GENERATION	
RESIDENTIAL	422 TOTAL, 298AM PEAK, 370PM PEAK
COMMERCIAL - GENERAL OFFICE	28 TOTAL, 49AM PEAK, 48PM PEAK
COMMERCIAL - RETAIL	106 TOTAL, 168AM PEAK, 78PM PEAK
DEVELOPED AREA	70,485 SF = 1.6 AC.

- NOTES:
- THE CONSTRUCTION SITE IS NOT LOCATED IN A FEMA FLOOD HAZARDOUS ZONE.
 - FIRM # 3720311700K, JUNE 2, 2006
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 - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
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 - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
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LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PRIVACY FENCE
	PERVIOUS CONCRETE DRAINAGE AREA
	DRAINAGE AREA
	OBSERVATION WELL
	TREE PROTECTION FENCING

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name: _____ Date: _____
Planning _____
Traffic _____
Fire _____



FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

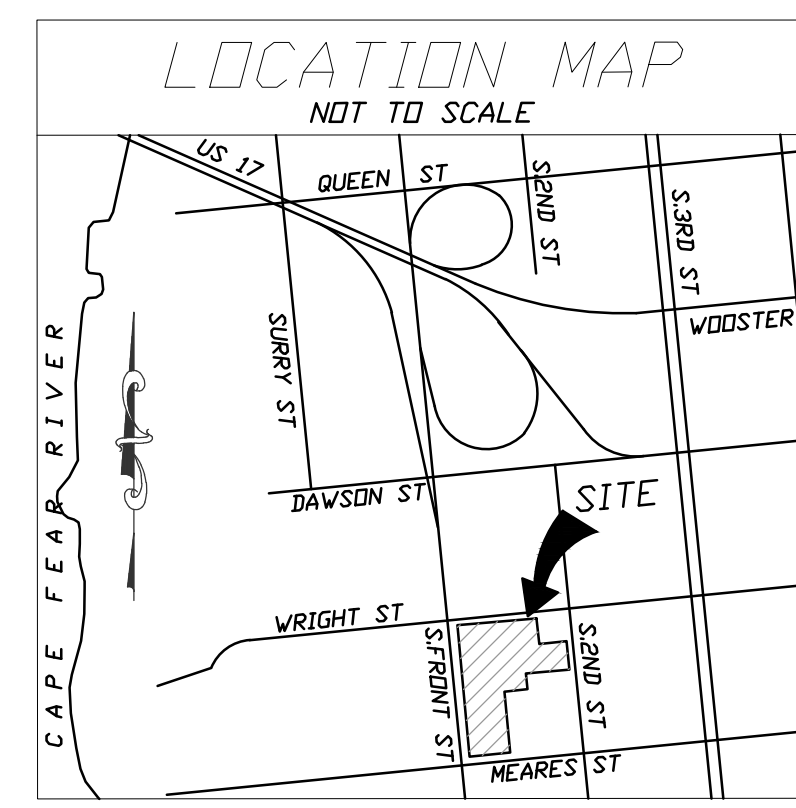
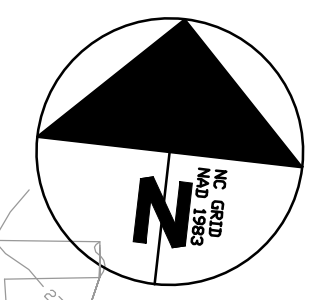
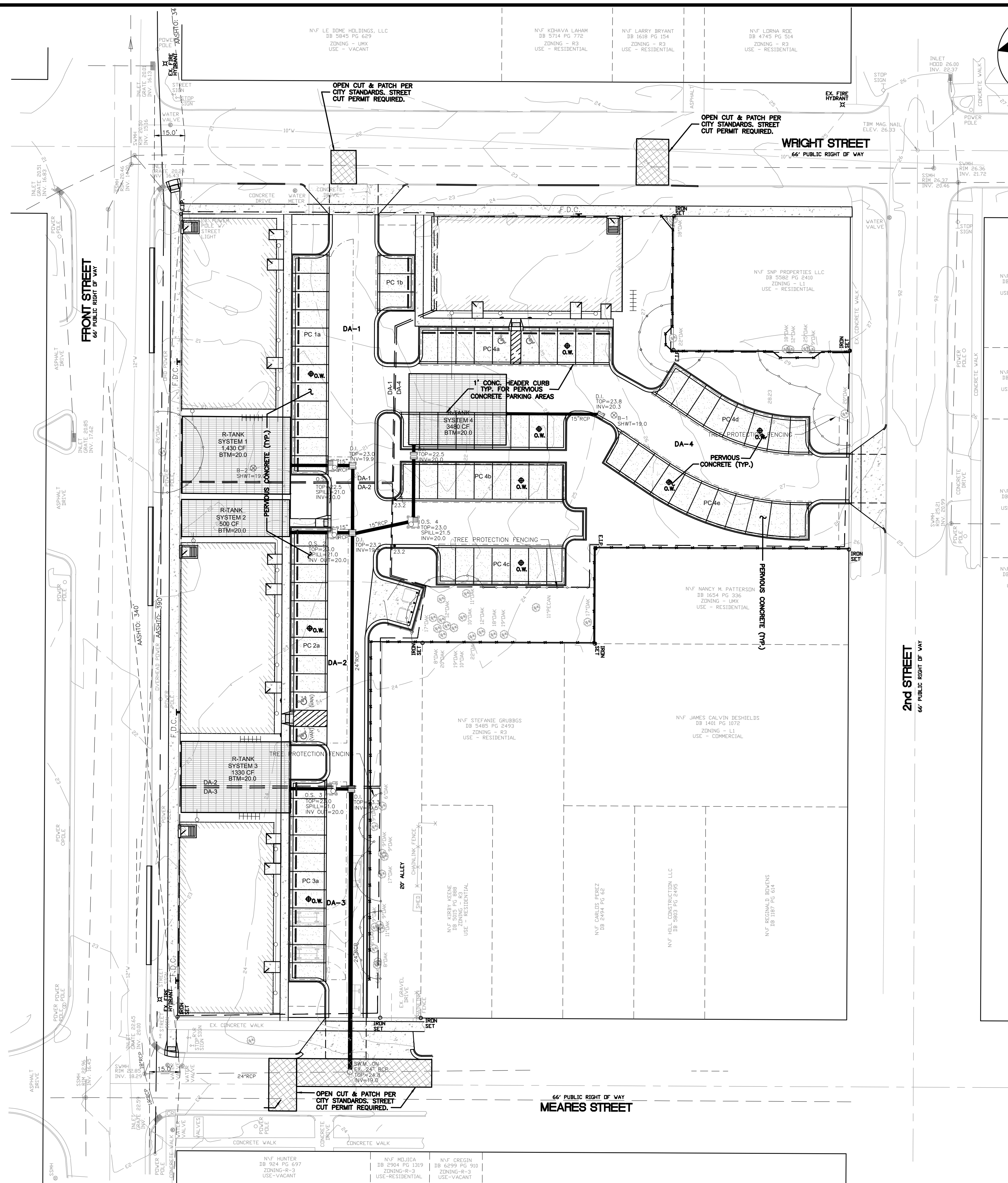
REV. NO.	DESCRIPTION	DATE

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

UTILITY PLAN

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE: 10/28/22
Scale: 1"=30'
Drawn: NNC
Checked: WSL
Project No: HA0121
Sheet No: **C4**



SITE DATA TABLE	
PN	RS413-015-005-000
OWNER	DTSC, LLC
OWNER ADDRESS	401 CHESTNUT ST., SUITE A
	WILMINGTON, NC 28401
SITE ADDRESS	102 WRIGHT ST.
	WILMINGTON, NC 28401
ZONING	UMX - URBAN MIXED USE
CURRENT LAND USE	VACANT
ACREAGE	80,213 SF = 1.84 AC.
REQUIRED SETBACKS	0' - ALL SIDES
EXISTING BLDG.	0
EX. GRAVEL DRIVE	10,500 SF
TOTAL EX. IMPERVIOUS	10,500 SF
REMAINING EX. IMPERVIOUS	0 SF
PROPOSED UNITS	4 3-STORY UNITS
INFORMATION PER UNIT	
TOTAL BUILDING FOOTPRINT	4,186 SF
BUILDING HEIGHT	34'
COMMERCIAL SPACE	4800 SF
2-BEDROOM UNITS	5
1-BEDROOM UNITS	3
TOTAL UNITS	8
STUDIO UNITS	21
TOTAL PROJECT BEDROOMS	84
SF PER FLOOR	4,186 SF
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CONCRETE CURB AND GUTTER	3,924 SF
TOTAL IMPERVIOUS	37,743 SF
PERVIOUS CONCRETE (PARKING)	13,880 SF
LOT COVERAGE/PROP. BUILT-UPON AREA	37,743 SF = .86 AC = 63.9%
TOTAL PARKING SPACES PROVIDED	91 (INCLUDING ADA) *SEE NOTE 11
ADA PARKING SPACES PROVIDED	(4) 2 REGULAR / 2 VAN SPACES
BICYCLE PARKING REQUIRED/PROVIDED	4/20
DISBURSED AREA	85,620 SF = 1.97 AC
BUILDING CONSTRUCTION TYPE	WOOD FRAMED, NC TYPE V-B
CAMA LAND USE DESIGNATION	URBAN
ESTIMATED TRIP GENERATION	
RESIDENTIAL	422 TOTAL, 290AM PEAK, 370PM PEAK
COMMERCIAL - GENERAL OFFICE	28 TOTAL, 40AM PEAK, 40PM PEAK
COMMERCIAL - RETAIL	108 TOTAL, 100AM PEAK, 70PM PEAK
DEVELOPED AREA	70,485 SF = 1.6 AC.

- NOTES:**
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 - EXISTING WATER AND SEWER BY CFPUA.
 - EXISTING STORMWATER SYSTEM BY CITY OF WILMINGTON.
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LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PRIVACY FENCE
	PERVIOUS CONCRETE DRAINAGE AREA
	DRAINAGE AREA
	OBSERVATION WELL
	TREE PROTECTION FENCING

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

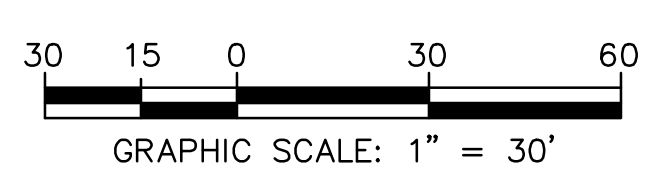
Approved Construction Plan

Name: _____ Date: _____

Planning _____

Traffic _____

Fire _____



FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

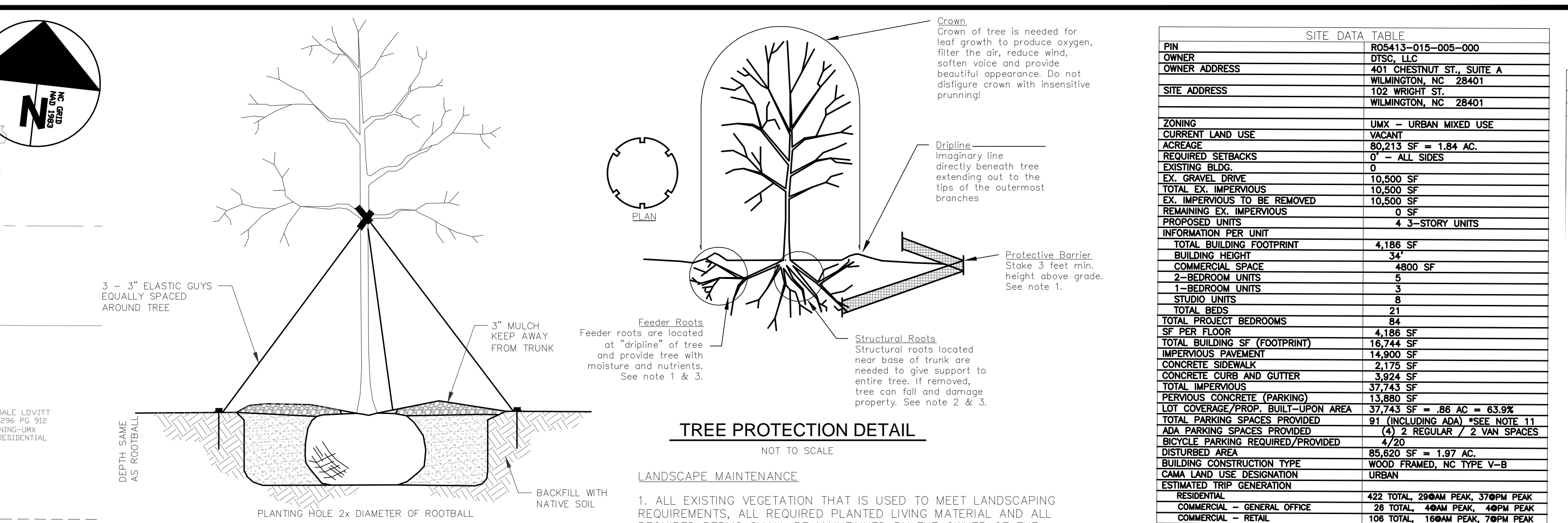
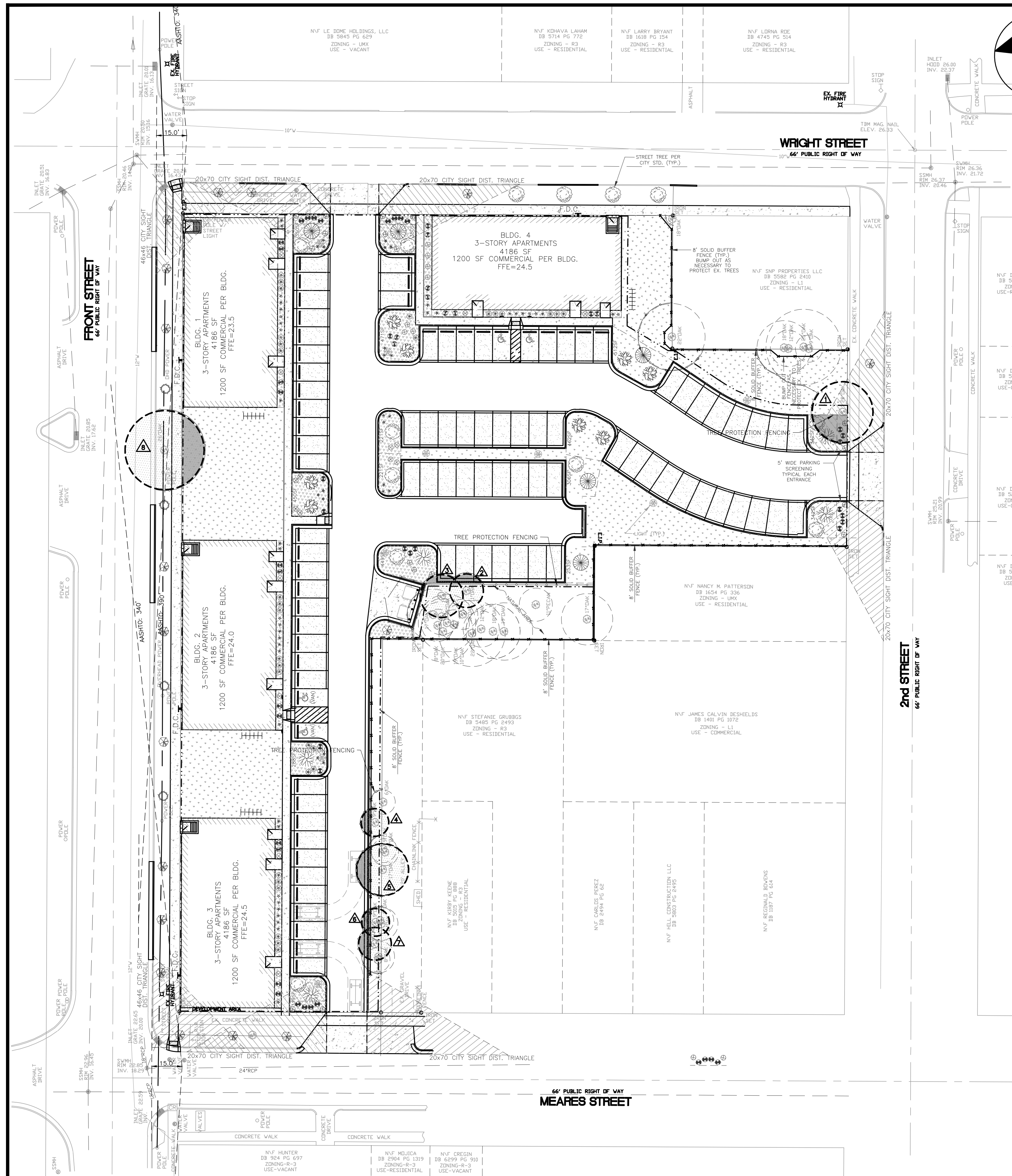
REV. NO.	DESCRIPTION	DATE

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NORTH CAROLINA

DRAINAGE AREAS MAP

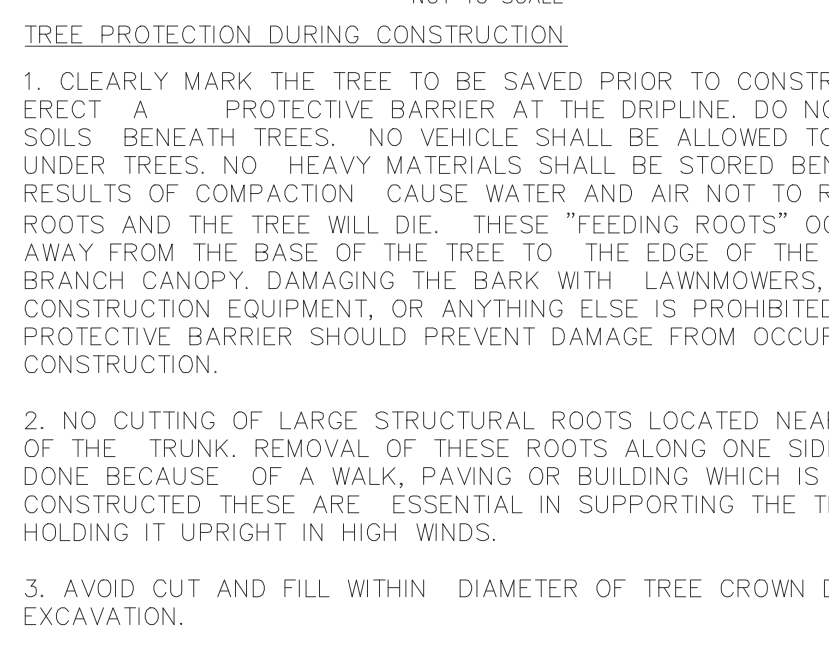
RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE: 11/5/22
Scale: 1" = 30'
Drawn: NNC
Checked: WSL
Project No: HA0121
Sheet No: **C5**



SITE DATA TABLE	
PIN	105413-015-005-000
OWNER	DTSC, LLC
OWNER ADDRESS	401 CHESTNUT ST., SUITE A WILMINGTON, NC 28401
SITE ADDRESS	102 WRIGHT ST. WILMINGTON, NC 28401
ZONING	UNY - URBAN MIXED USE
CURRENT LAND USE	VACANT
ACREAGE	80,213 SF = 1.84 AC
REQUIRED SETBACKS	0' - ALL SIDES
EXISTING BLDG.	0
EX. GRAVEL DRIVE	10,500 SF
TOTAL EX. IMPERVIOUS	10,500 SF
EX. IMPERVIOUS TO BE REMOVED	10,500 SF
REMAINING EX. IMPERVIOUS	0 SF
PROPOSED UNITS	4 3-STORY UNITS
INFORMATION PER UNIT	
TOTAL BUILDING FOOTPRINT	4,186 SF
BUILDING HEIGHT	34'
COMMERCIAL SPACE	4800 SF
2-BEDROOM UNITS	5
1-BEDROOM UNITS	3
STUDIO UNITS	8
TOTAL BEDS	21
SF PER FLOOR	4,186 SF
TOTAL BUILDING SF (FOOTPRINT)	16,744 SF
IMPERVIOUS PAVEMENT	14,930 SF
CONCRETE SIDEWALK	2,175 SF
CONCRETE CURB AND GUTTER	3,924 SF
TOTAL IMPERVIOUS	37,413 SF
PERVIOUS CONCRETE (PARKING)	13,880 SF
LOT COVERAGE/PROP. BUILT-UPON AREA	37,743 SF = 88 AC = 63.9%
TOTAL PARKING SPACES PROVIDED	81 (INCLUDING ADA) *SEE NOTE 11
ADA PARKING SPACES PROVIDED	(4) 2 REGULAR / 2 VAN SPACES
BICYCLE PARKING REQUIRED/PROVIDED	4/20
DISTURBED AREA	85,620 SF = 1.97 AC
BUILDING CONSTRUCTION TYPE	WOOD FRAMED, NC TYPE V-B
CRAMA LAND USE DESIGNATION	URBAN
ESTIMATED TRIP GENERATION	
RESIDENTIAL	422 TOTAL, 290AM PEAK, 376PM PEAK
COMMERCIAL - GENERAL OFFICE	28 TOTAL, 40AM PEAK, 48PM PEAK
COMMERCIAL - RETAIL	108 TOTAL, 166AM PEAK, 78PM PEAK
DEVELOPED AREA	70,485 SF = 1.6 AC

TREE PLANTING AND STAKING DETAIL



TREE PROTECTION DETAIL

NOT TO SCALE

LANDSCAPE MAINTENANCE

1. ALL EXISTING VEGETATION THAT IS USED TO MEET LANDSCAPING REQUIREMENTS, ALL REQUIRED PLANTED LIVING MATERIAL AND ALL REQUIRED BERMS SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY ON A CONTINUING BASIS. ANY PLANTED MATERIAL THAT BECOMES DAMAGED OR DISEASED OR DIES SHALL BE REPLACED BY THE OWNER WITHIN 60 DAYS OF THE OCCURRENCE OF SUCH CONDITION. IF, IN THE OPINION OF THE ZONING ADMINISTRATOR, THERE ARE SEASONAL CONDITIONS WHICH WILL NOT PERMIT THE TIMELY REPLACEMENT OF THE VEGETATION, THIS REQUIREMENT MAY BE ADMINISTRATIVELY WAIVED UNTIL A TIME CERTAIN WHEN THE REPLANTING WOULD BE SUCCESSFUL.
2. ARTIFICIAL FENCING AND NONLIVING SCREENING BUFFERS SHALL BE MAINTAINED, CLEANED AND REPAIRED BY THE OWNER OF THE PROPERTY ON A CONTINUING BASIS. SUCH FENCING SHALL BE KEPT FREE OF LITTER AND ADVERTISING.
3. PARKING SCREENING SHRUBS TO BE MAINTAINED BETWEEN 3' AND 5'.

TREE PROTECTION DURING CONSTRUCTION

1. CLEARLY MARK THE TREE TO BE SAVED PRIOR TO CONSTRUCTION AND ERRECT A PROTECTIVE BARRIER AT THE DRIPLINE. DO NOT COMPACT SOILS BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. RESULTS OF COMPACTION CAUSE WATER AND AIR NOT TO REACH THE ROOTS AND THE TREE WILL DIE. THESE "FEEDING ROOTS" OCCUR WELL AWAY FROM THE BASE OF THE TREE TO THE EDGE OF THE OVERHEAD BRANCH CANOPY, DAMAGING THE BARK WITH LAWNMOWERS. CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. THE PROTECTIVE BARRIER SHOULD PREVENT DAMAGE FROM OCCURRING DURING CONSTRUCTION.
2. NO CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK. REMOVAL OF THESE ROOTS ALONG ONE SIDE IS OFTEN DONE BECAUSE OF A WALK, PAVING OR BUILDING WHICH IS BEING CONSTRUCTED THESE ARE ESSENTIAL IN SUPPORTING THE TREE AND HOLDING IT UPRIGHT IN HIGH WINDS.
3. AVOID CUT AND FILL WITHIN DIAMETER OF TREE CROWN DURING EXCAVATION.

NOTE: TREE PROTECTION FENCING IS REQUIRED AT A RATE OF ONE FOOT PER DIAMETER INCH AROUND THE PROTECTED TREES. REFER TO DRAWING MEASUREMENTS OF TREES.

TREE RETENTION, REMOVAL AND PLANTINGS

1.6 ACRES DEVELOPED. 1.6 x 15 TREES PER ACRE = MINIMUM 24 TREES REQUIRED

ON-SITE TREE REMOVAL

THREE DEAD TREES TO BE REMOVED: (2) 18" OAKS, (1) 14" OAK

SIGNIFICANT TREES TO BE REMOVED:

TYPE	DBH	QTY	% MITIGATION	MULTIPLIER	DIVISION #	EQUATION	# TREES
OAK	25"	1	100 (1.0)	2	3	25x12=300/3=100	17

REGULATED TREES TO BE REMOVED:

TYPE	DBH	QTY	% MITIGATION	MULTIPLIER	DIVISION #	EQUATION	# TREES
OAK	21"	1	100 (1.0)	1	3		
OAK	17"	1	100 (1.0)	1	3		
OAK	15"	2	100 (1.0)	1	3		
OAK	14"	2	100 (1.0)	1	3		
OAK	12"	2	100 (1.0)	1	3		
OAK	10"	1	100 (1.0)	1	3		
OAK	8"	1	100 (1.0)	1	3		

TOTALS REGULATED TREES TO BE REMOVED:

TYPE	DBH	QTY	% MITIGATION	MULTIPLIER	DIVISION #	EQUATION	# TREES
OAK	138"	1	100 (1.0)	1	3	138x11=1518/3=506	46
GRAND TOTAL						1746=63	63

ON-SITE TREE PRESERVATION

REGULATED TREES TO BE PRESERVED

TYPE	DBH	QTY	CREDIT FACTOR	CREDITS
OAK	22"	2	4	8
OAK	20"	2	4	8
OAK	19"	2	4	8
OAK	18"	2	4	8
OAK	17"	3	3	9
OAK	14"	1	3	3
OAK	12"	2	3	6
OAK	11"	2	2	4
OAK	10"	2	2	4
OAK	9"	3	2	6
OAK	8"	3	2	6
PECAN	11"	1	2	2

ADDITIONAL TREES TO BE PRESERVED

TYPE	DBH	QTY	CREDIT FACTOR	CREDITS
OAK	8"	1	2	2

TOTAL CREDITS FOR SITE 74

TOTAL CREDITS ARE GREATER THAN NUMBER OF TREES REQUIRED

6 ADDITIONAL DARLINGTON OAKS ARE SPECIFIED, THESE TREES ARE CONSIDERED ADDITIONAL BECAUSE THEY ARE NOT REQUIRED IN THE PARKING ISLAND, BUT ARE ADDED FOR BEAUTIFICATION.

OFF-SITE TREES

SIGNIFICANT TREES REMOVED: (1) 25" DISEASED ELM (PER AARON REESE)

SIGNIFICANT TREES TO BE PRESERVED: 26" OAK: 1 25" OAK: 1

DOCUMENTED TREES TO BE PRESERVED: 17" OAKS: 2 9" OAKS: 3

PRESERVED TREES WITH GREATER THAN 20% INTERFERENCE WITH CRZ

ID #	DBH	CRZ SF	20% CRZ SF	INTERFERENCE SF
▲	20"	707	141	187
▲	11"	214	43	59
▲	12"	245	51	70
▲	9"	143	29	45
▲	17"	511	102	110
▲	9"	143	29	38
▲	8"	201	40	64
▲	8"	1,195	239	273

NOTES: IF THE ENTIRE CRITICAL ROOT ZONE (CRZ) CANNOT REMAIN UNDISTURBED, TREES ROOTS MUST BE CLEANLY PRUNED PRIOR TO ANY LAND DISTURBANCE.

DISTURBANCE WITHIN THE CRZ SHALL NOT EXCEED 20% OF THE TOTAL CRZ UNLESS RECEIVING PRIOR APPROVAL BY THE CITY MANAGER.

FOUNDATION PLANTING CALCULATIONS:

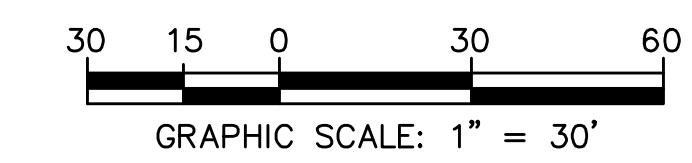
LONG FACADE OF RESIDENTIAL BUILDINGS: 90' x 34' = 3060 x 12 = 3672 SF REQUIRED FOUNDATION PLANTING. BUILDINGS 1, 2 AND 3: WIDTH OF FOUNDATION PLANTING AREA = 4.25'. 90 x 4.25 = 382.5 SF FOUNDATION PLANTING AREA PROVIDED.

BUILDING 4: WIDTH OF FOUNDATION PLANTING AREA = 4.45'. 90 x 4.45 = 400.5 SF FOUNDATION PLANTING AREA PROVIDED.

SHORT (WEST) FACADE OF BUILDING 4: 45.6' x 34' = 1550.4 x 12 = 186 SF REQUIRED FOUNDATION PLANTING. BUILDINGS 1, 2 AND 3: WIDTH OF FOUNDATION PLANTING AREA = 4.25'. LENGTH OF BED = 50' 50 x 4' = 200 SF FOUNDATION PLANTING AREA PROVIDED.

STREETYARD PLANTING CALCULATIONS:

FRONT STREET FRONTAGE = 410'. AT RATE OF 1 TREE PER 30', 14 TREES REQUIRED AND PROVIDED. MEARES STREET FRONTAGE (EXCLUDING DRIVE) = 70.6'. 70.6 / 30 = 3 TREES REQUIRED AND PROVIDED. WRIGHT STREET FRONTAGE (EXCLUDING DRIVE) = 200'. 200 / 30 = 7 TREES REQUIRED AND PROVIDED. 2ND STREET FRONTAGE (EXCLUDING DRIVE) = 57'. 57 / 30 = 2 TREES REQUIRED AND PROVIDED.



LANDSCAPING LEGEND

SYMBOL	SPECIFICATION	QUANTITY					TOTAL
		PARKING	PARKING SCREENING	FOUNDATION	STREETYARD	ADDITIONAL	
LARGE CANOPY	DARLINGTON OAK QUERCUS LAURIFOLIA HEIGHT 30-35 SPREAD 25-30	4			4	6"	14
	SOUTHERN MAGNOLIA MAGNOLIA GRANDIFLORA HEIGHT 50-60 SPREAD 30-40	5					5
	RIVER BIRCH BETAULA PUMILA HEIGHT 50-60 SPREAD 30-40	5					5
	WINTER OAK QUERCUS NIGRA HEIGHT 40-50 SPREAD 40-60	6					6
SMALL CANOPY	LEAVY MYRTLE LAURUSTROBILUS INDICA HEIGHT 12-15 SPREAD 12-15	1			16		17
	EASTERN RED BUD GEORGIAEANUS HEIGHT 30-35 SPREAD 15-20				4		4
	SHRUBS						
SHRUBS	DWARF JAPANESE PITTOSPORUM PITTOSPORUM TOBIRO SP. WHEELER'S DWARF SPREAD 4-5	18	19	10			38
	MOSSY BUCKLE AZALEA PHODODENDRON ALTANUM JEWELL OR CULTIVAR ANGEL. SEE NOTE #4. HEIGHT 3-4 SPREAD 3-4	21		23			44
MISC.	CAPE JASMINE GARDENIA JASMINEODENS YLEND HARDY HEIGHT 2-3 SPREAD 2-3	6		10			24
	INDIAN HAZELFRONIE RHAPHANOLIFOLIA INDICA CONOR SLEIGHTER FRAGR. HEIGHT 3-5 SPREAD 2-3	10	10	10			36
MISC.	TREE PROTECTION FENCING SEE NOTE # BELLOW						
	GRASS						
	MULCH						
	CITY OF WILMINGTON SIGHT DISTANCE TRIANGLES IDENTIFICATION NUMBER OF TREES TO MOBE TRAILER INTERFERENCE CRITICAL ROOT ZONE (CRZ) CRZ OF TREE WITH GREATER THAN 20% INTERFERENCE (SHADED AREA)						

NOTE: PARKING SCREENING SHRUBS TO BE MAINTAINED BETWEEN 3' AND 5' HEIGHT. * TREES ARE CONSIDERED ADDITIONAL WHEN LOCATED IN PARKING ISLAND AND NOT REQUIRED.

LANDSCAPE NOTES

1. LARGE CANOPY TREES TO BE MIN. 2' - 2.5' DBH AT PLANTING.
2. SMALL CANOPY AND MULTI-TRUNKED TREES TO BE MINIMUM 8' - 10' TALL AT PLANTING.
3. SHRUBS TO BE MIN. 12" TALL AT TIME OF PLANTING.
4. SHRUBS WITHIN FOUNDATION AREAS TO BE SPACED AROUND PROPOSED UTILITIES.
5. APPLY NATURAL MULCH 4" DEEP, 4" DIAMETER AROUND INTERIOR TREES.
6. SHRUBS WITHIN SIGHT TRIANGLE TO BE MAINTAINED LESS THAN 30" TALL.
7. LIMB UP TREES AS NECESSARY TO MAINTAIN VISION CLEARANCE BETWEEN 30" AND 10' WITHIN CITY SIGHT TRIANGLES.
8. CLEARANCE WITHIN ASHTO SIGHT TRIANGLES MUST BE MAINTAINED BETWEEN 30' AND 5'.
9. TREE PROTECTION FENCING IS REQUIRED AT A RATE OF ONE FOOT PER DIAMETER INCH AROUND THE PROTECTED TREES. REFER TO DRAWING MEASUREMENTS OF TREES.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

102 WRIGHT STREET - OWNER: DTSC LLC

THE BLOCK ON FRONT

WILMINGTON NORTH CAROLINA

LANDSCAPING PLAN

Drawn: NNC

Checked: WSL

Project No: HA0121

RIGHT ANGLE ENGINEERING, P.C.

212 PRINCESS STREET WILMINGTON, NC 28401 (910) 251-8844 FAX (910) 251-2208 FIRM: C-0829

DATE: 11/7/22

Scale: 1" = 30'

Sheet No: **L1**

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV. NO.	DESCRIPTION	DATE



Outdoor Lighting Mitchell LED Series



The energy-efficient features in the Mitchell LED Series enhance the character and prestige of streetscapes and parking lots, as well as pedestrian areas and greenways. These fixtures provide safety and security in commercial settings and complement any neighborhood with their classic, elegant design.

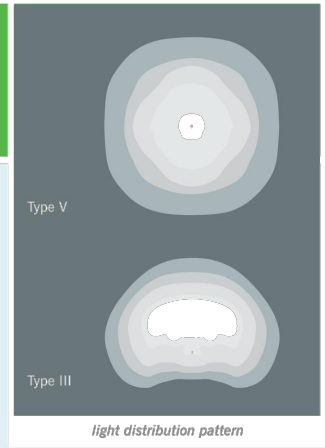
LED (Light Emitting Diode)	50 watts, 75 watts (Mitchell Open)
Mounting heights	12', 13', 16'
Color	Black
Poles	Fiberglass Smooth round concrete Style V Style VI Style VII

For additional information, visit us at duke-energy.com/outdoorlighting or call us toll free at 866.769.6417.



Outdoor Lighting Mitchell LED Series

Light source: LED (watts)
Lumens: 4,332 - 5,678 (fixture dependent)
Color temperature: 4,000K



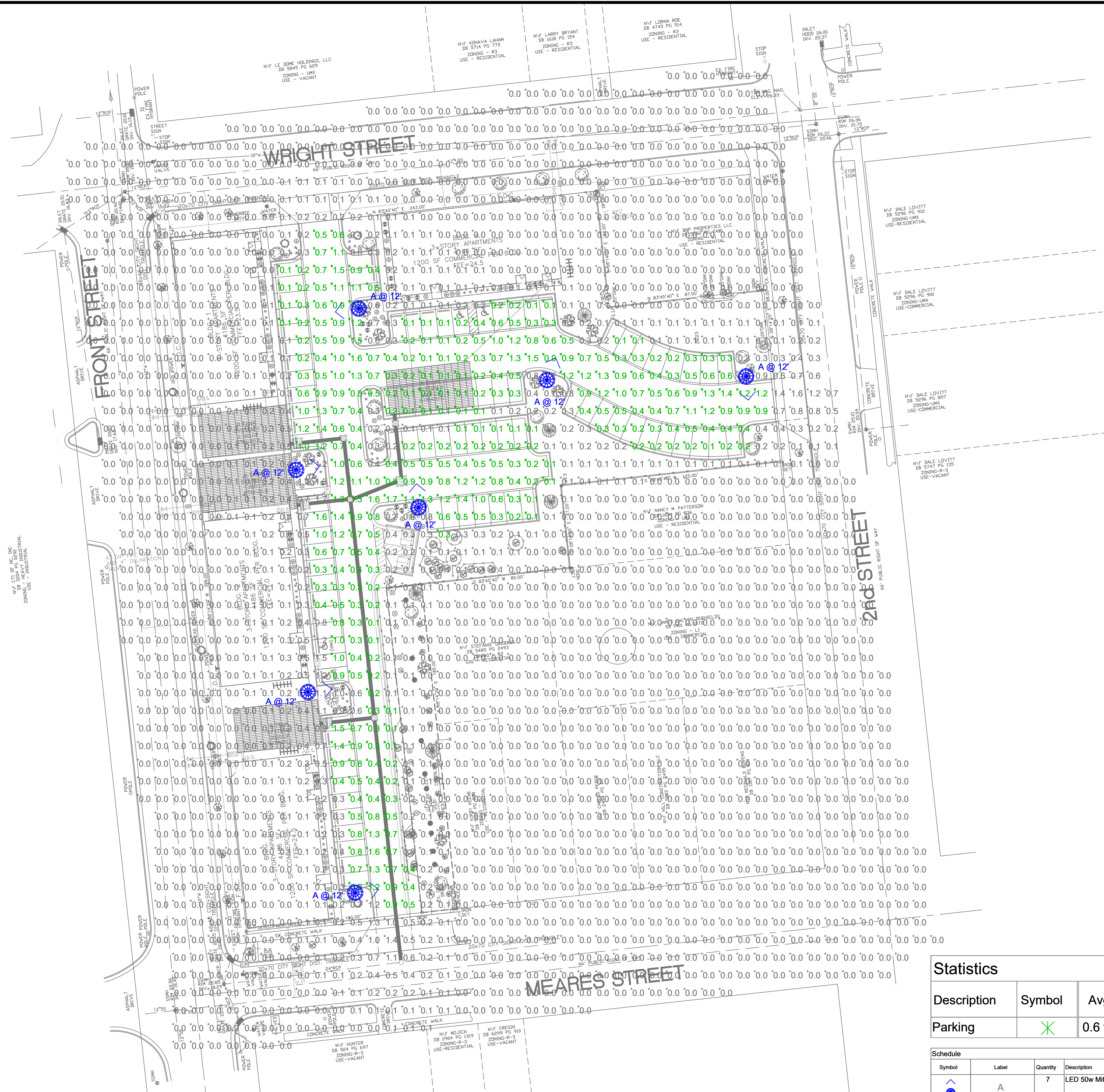
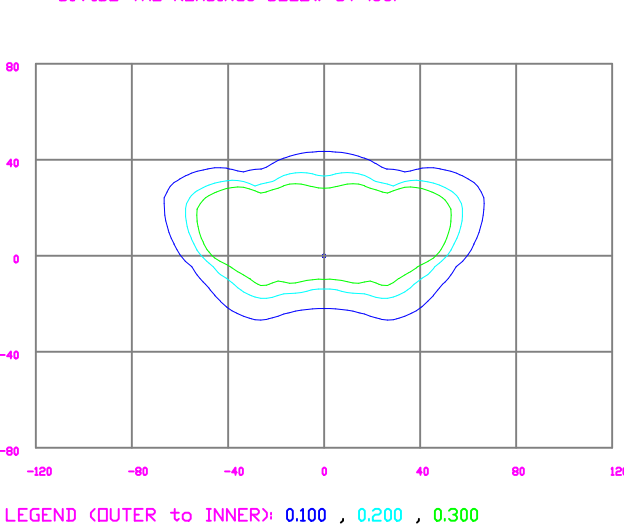
Fixture	Wattage	Light Pattern	IESNA Backlight - Uplight - Glare (BUG) Rating
Mitchell LED	50	IESNA Type V	83-104-G3
Mitchell Top Hat LED	50	IESNA Type V	83-104-G3
Mitchell Open LED	75	IESNA Type III	83-104-G1
Mitchell LED with Ribs, Bands and Medallions	50	IESNA Type V	83-104-G3
Mitchell Top Hat LED with Ribs, Bands and Medallions	50	IESNA Type V	83-104-G3

Poles available:		
Name	Mounting height	Color
Smooth concrete	12', 16'	Black
Fiberglass	16'	Black
Style V	12', 16'	Black
Style VI	12'	Black
Style VII	13'	Black

ISDFOOTCANDLE CURVES

FEATURES: MITCHELL LED w/ TOP HAT
MOUNTING HEIGHT: 12'
LIGHT SOURCE: 50W LED'S, 3000K
PATTERN TYPE: III, 82-144-G3
ASSY # LFIX-MTCH-LED-50-BLK-III-3000K-____.P

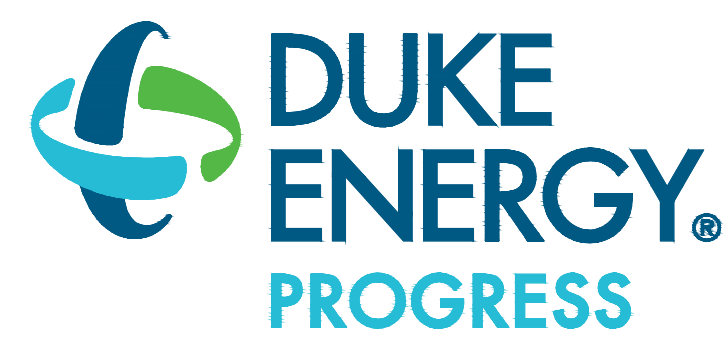
NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LAMP LUMEN DEPRECIATION AND LUMINAIRE BEAM DEPRECIATION FOR INITIAL FOOTCANDLES. DIVIDE THE READINGS BELOW BY .85.



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	X	0.6 fc	1.7 fc	0.1 fc	17.0:1	6.0:1

Schedule						
Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
A	A	7	LED 50w Mitchell Top Hat - Type III - 3000K	1	6133	0.85

LIGHTING DESIGN TOLERANCE
The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or structures) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



PROPRIETARY & CONFIDENTIAL
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THE BLOCK APARTMENTS	
Wilmington, NC	
SITE LIGHTING PLAN	
Designed by	DEP LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale 1" = 30'
Date	10/13/2022 Size "Arch D"
Description	LED Mitchell Top Hat - 12' Style V Pole
Drawing No.	22-0276B Sht. 1 OF 1

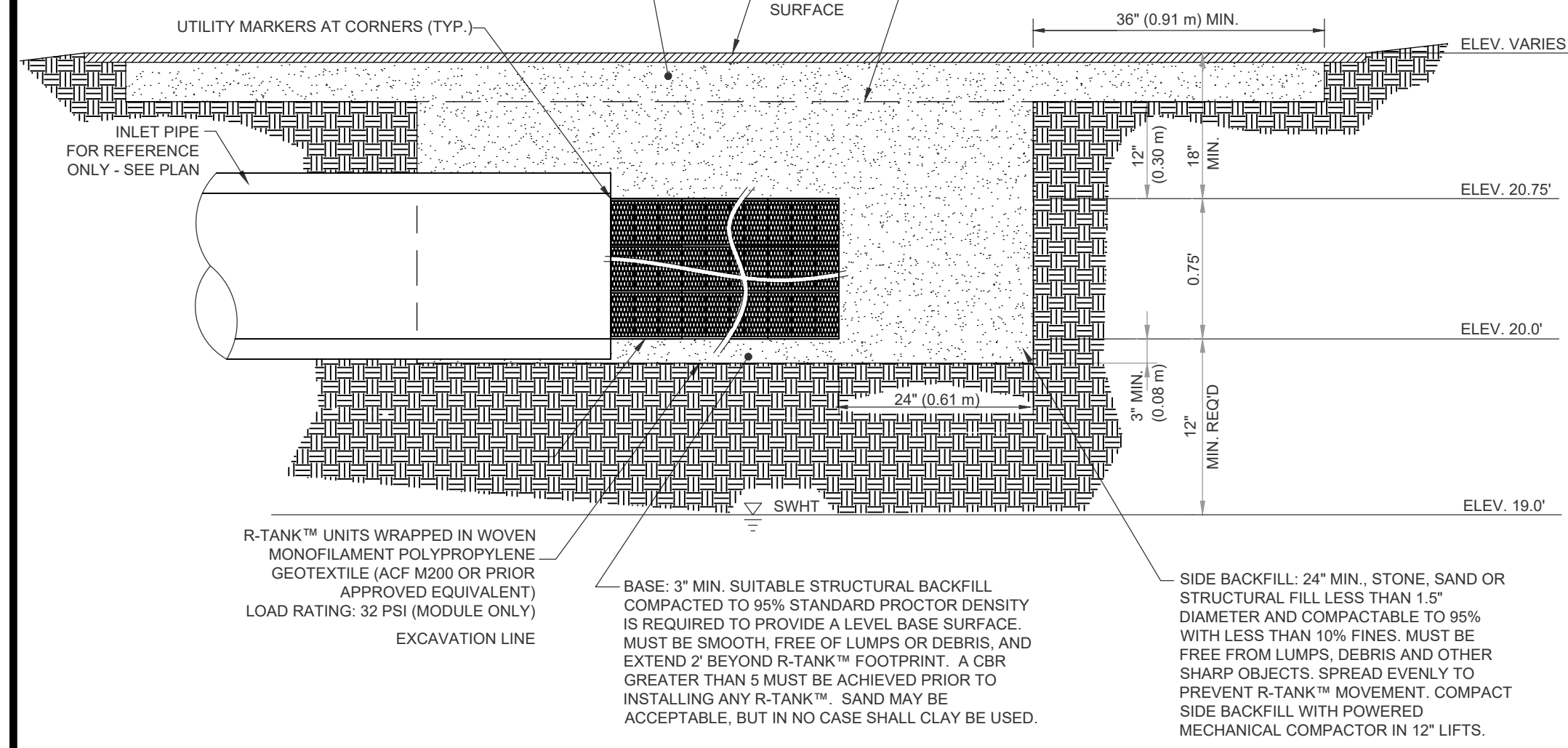
REV#	DATE	REVISION	BY
Rev B	10/13/22	Town Comments	NJ
Rev A	07/07/22	Mitchell Top Hat - 3000K - Style VII Pole	NJ

Customer approval	Date

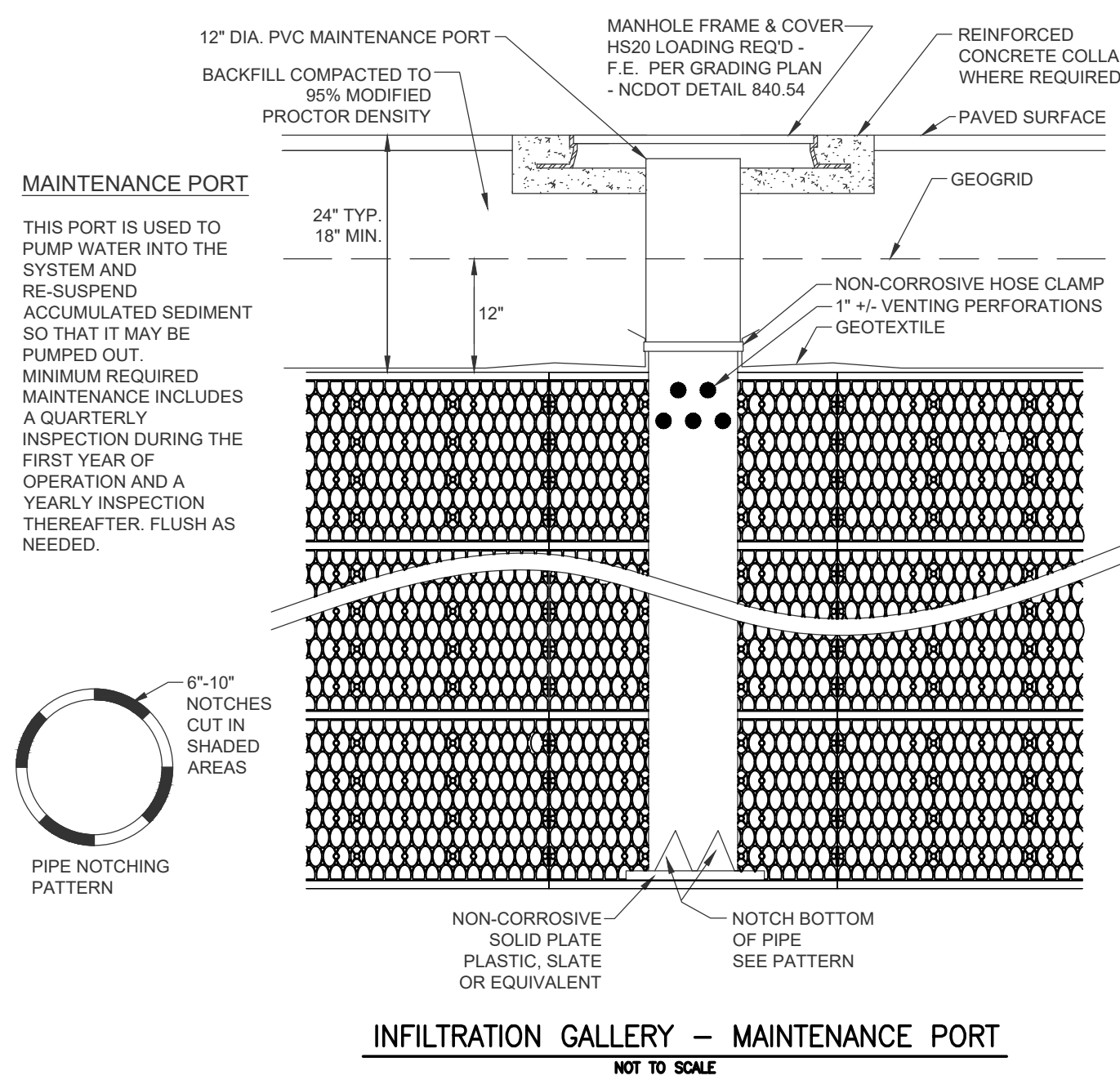
TOP BACKFILL: 18" MIN. STRUCTURAL FILL (24" RECOMMENDED, SIMILAR TO SIDE BACKFILL). MATERIAL ABOVE THE GEOGRID MAY VARY BASED ON INTENDED USE, BUT IN NO CASE SHOULD THE CLAY CONTENT EXCEED 10%. A MIN. 12" COVER MUST BE MAINTAINED BETWEEN BACKFILL EQUIPMENT AND THE TOP OF THE R-TANK™ SYSTEM AT ALL TIMES. FOR BEST RESULTS, PUSH OUT 14" TO MAINTAIN A MIN. 12" COVER REFER TO THE R-TANK™ INSTALLATION GUIDE FOR LISTING OF ACCEPTABLE EQUIPMENT. TOTAL HEIGHT OF TOP BACKFILL SHOULD NOT EXCEED 7' CONTACT ACF ENVIRONMENTAL IF MORE THAN 7' OR LESS THAN 24" OF TOP BACKFILL IS REQUIRED (FROM TOP OF TANK TO TOP OF PAVEMENT).

NOTES:

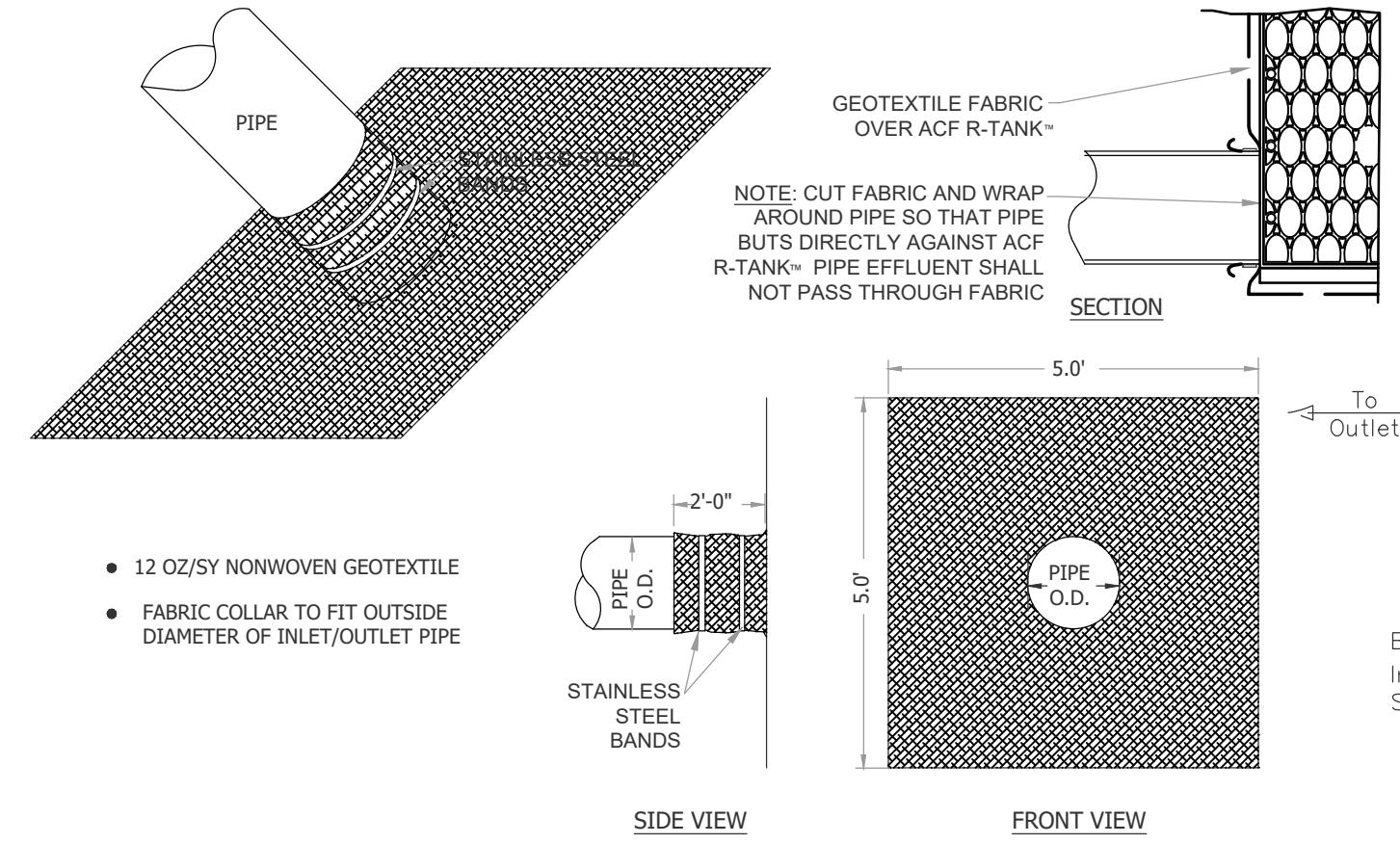
- FOR COMPLETE MODULE DATA, SEE APPROPRIATE R-TANK™ "SD" SHEET (SINGLE MODULE, DOUBLE MODULE, TRIPLE MODULE, QUAD MODEL, OR PENTA MODEL)
- INSTALLATIONS PER THIS DETAIL MEET GUIDELINES OF H20 LOADING PER THE 1983, 13TH EDITION OF THE AMERICAN ASSOCIATION OF STATE, HIGHWAY AND TRAFFIC OFFICIALS (AASHTO) STANDARD SPECIFICATIONS
- PRE-TREATMENT STRUCTURES NOT SHOWN
- GEOGRID (TENSAR BX-1200 OR EQUAL) PLACED 12" ABOVE THE R-TANK™ SYSTEM. OVERLAP ADJACENT PANELS BY 18" MIN. GEOGRID SHOULD EXTEND 3' BEYOND THE EXCAVATION FOOTPRINT.



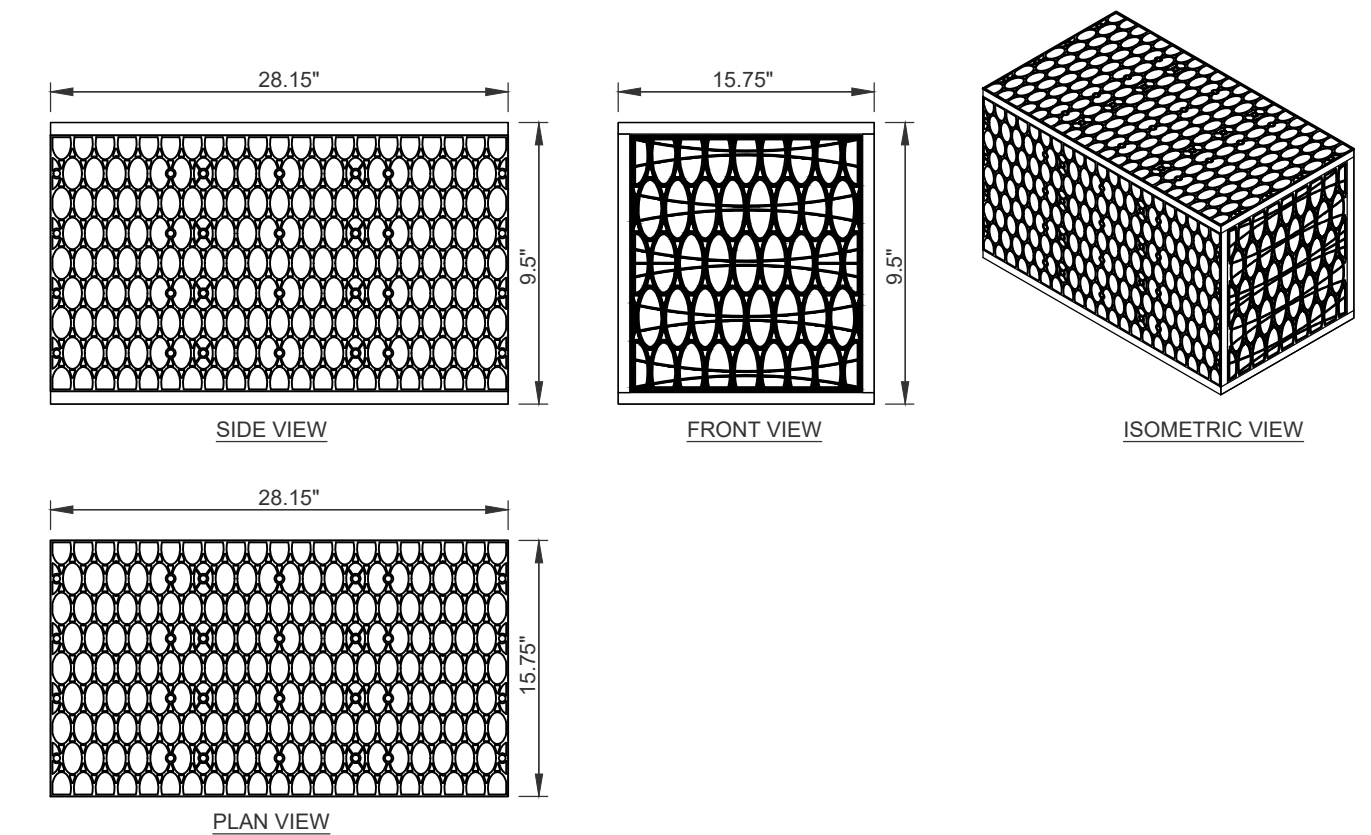
INFILTRATION GALLERY H2O LOADS
NOT TO SCALE



INFILTRATION GALLERY - MAINTENANCE PORT
NOT TO SCALE



INFILTRATION GALLERY - FABRIC PIPE BOOT
NOT TO SCALE

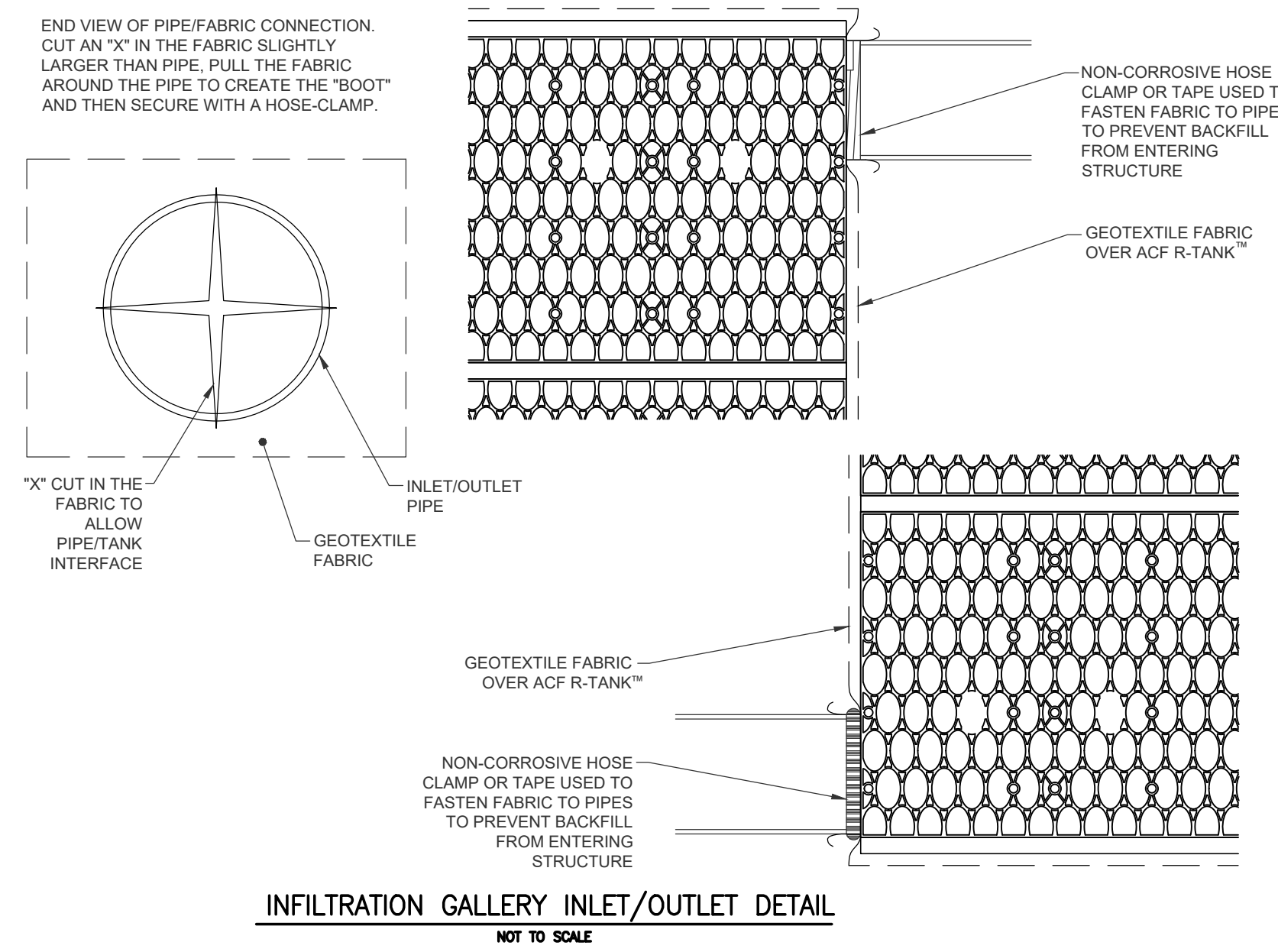


MODULE DATA - R-TANK S.D.

GEOMETRY: LENGTH = 28.15 IN. (715 MM)	LOAD RATING: 40 PSI, (MODULE ONLY)
WIDTH = 15.75 IN. (400 MM)	HS25, (WITH ACF COVER SYSTEM)
HEIGHT = 9.5" IN. (241.3 MM)	
STORAGE VOLUME = 2.42 CF (68.5 L)	MATERIAL: 85% RECYCLED POLYPROPYLENE
VOID INTERNAL VOLUME: 95%	
VOID SURFACE AREA: 90%	

NOTE: INFILTRATION GALLERY SHALL BE R-TANK HD SINGLE MODULE OR PRIOR APPROVED EQUIVALENT.

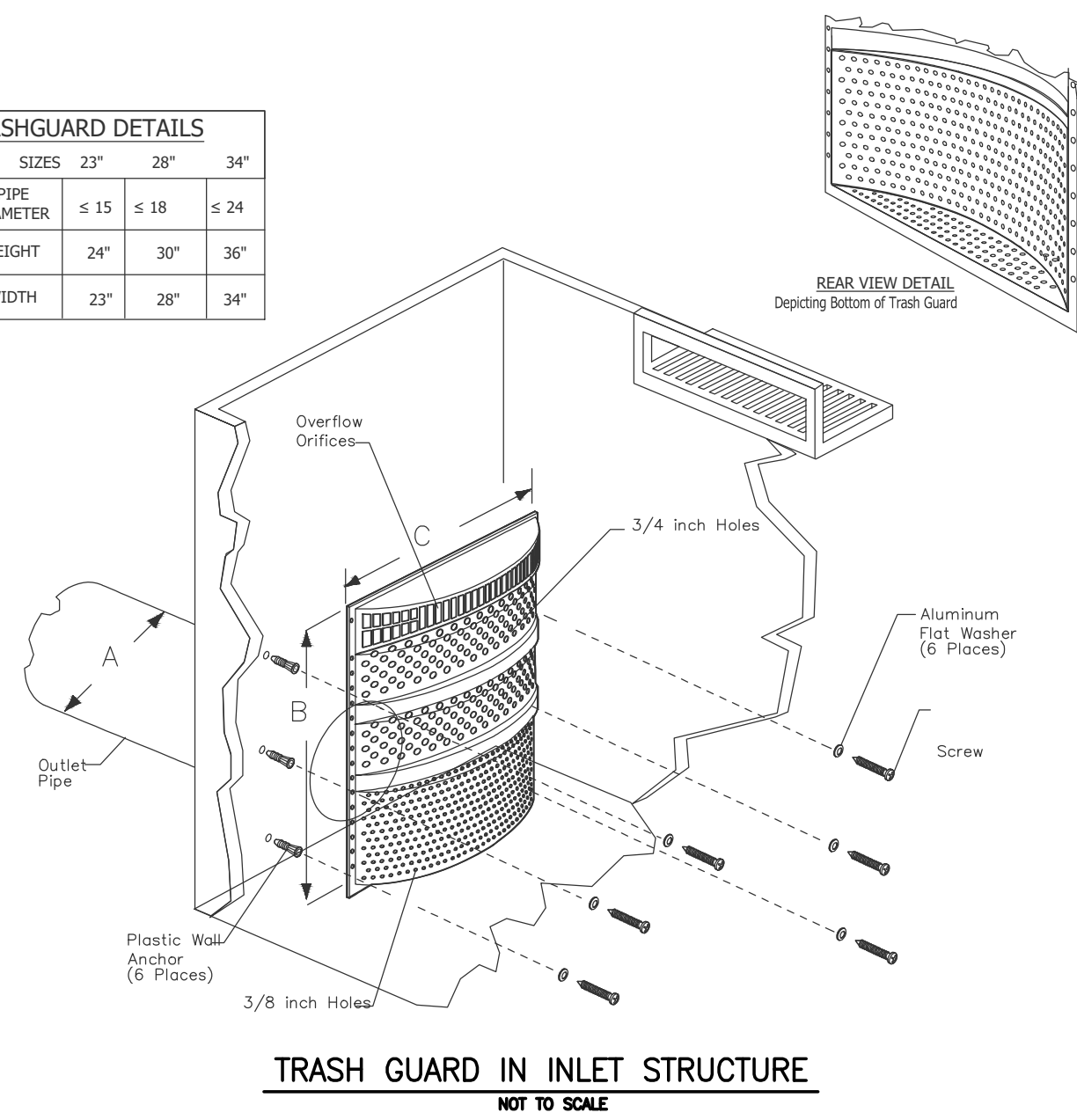
INFILTRATION GALLERY - SINGLE MODULE
NOT TO SCALE



INFILTRATION GALLERY INLET/OUTLET DETAIL
NOT TO SCALE

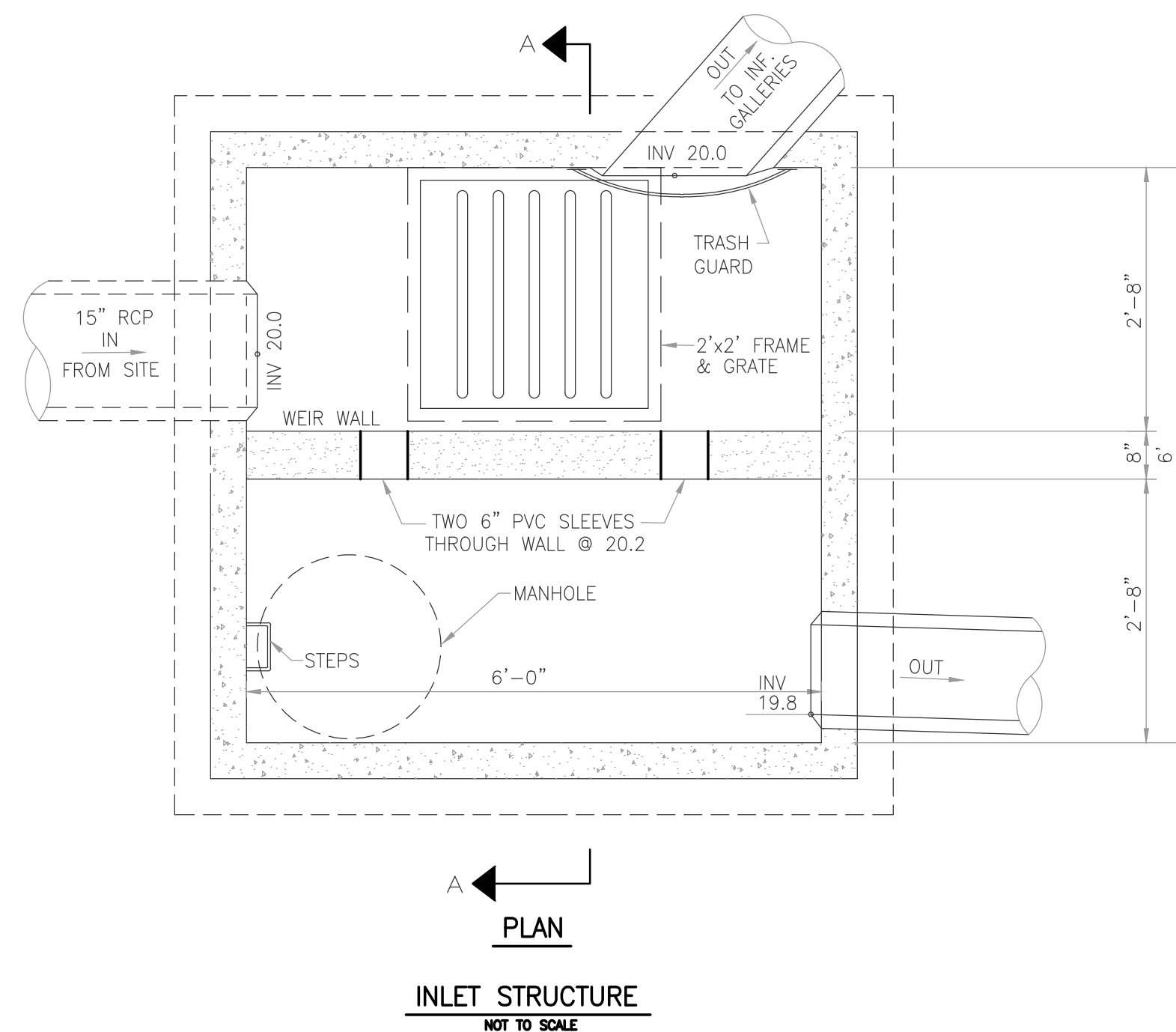
TRASHGUARD DETAILS

SIZES	23"	28"	34"
A PIPE DIAMETER	≤ 15	≤ 18	≤ 24
B HEIGHT	24"	30"	36"
C WIDTH	23"	28"	34"

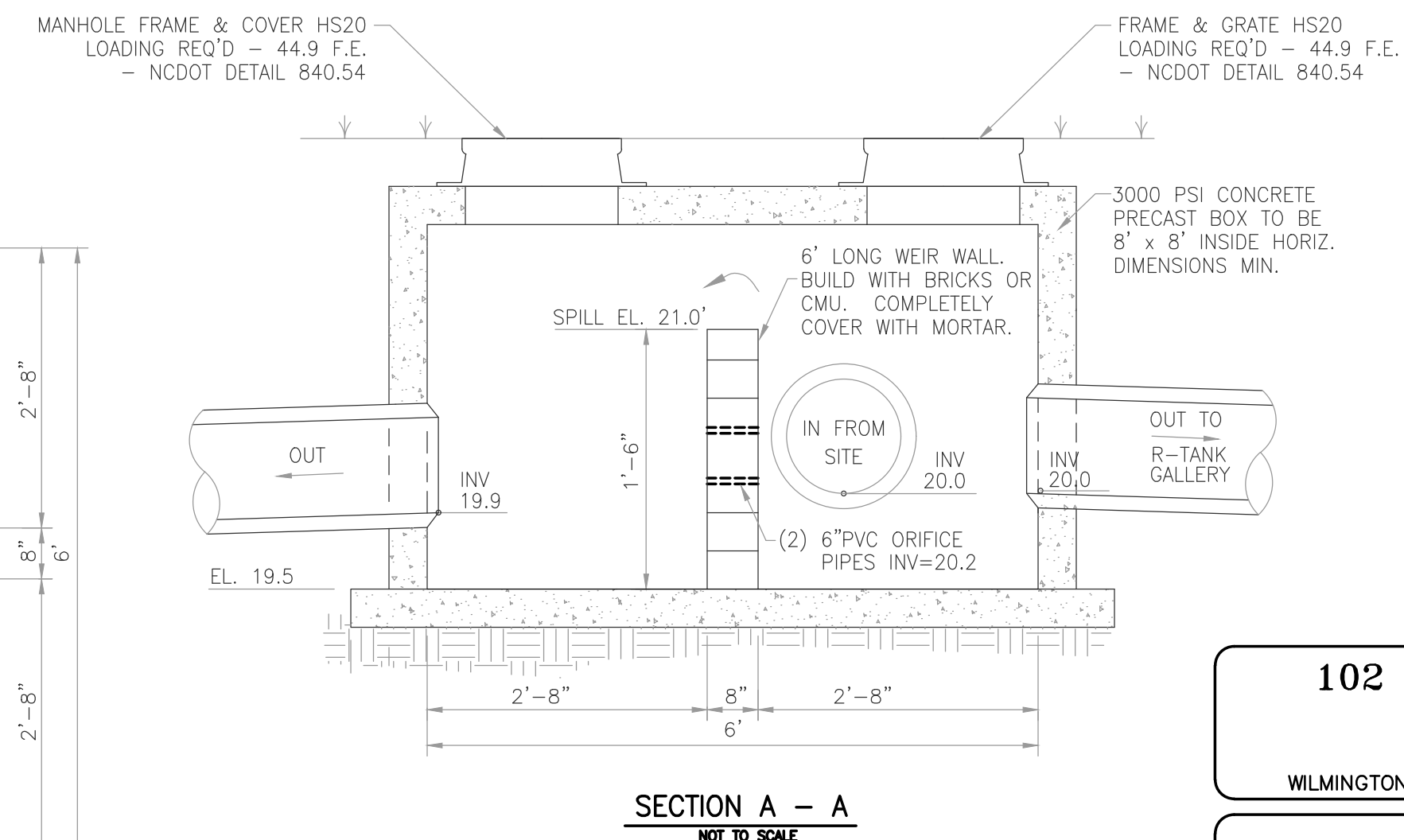


TRASH GUARD IN INLET STRUCTURE
NOT TO SCALE

SYSTEM	STORAGE VOLUME	LENGTH	WIDTH	BOTTOM ELEV.	O.S. SPILLWAY ELEV.	MODULE HEIGHT
DA-1	1430 CF	53.3	38	20.0	21.0	1 (9.5")
DA-2	911 CF	53.3	18.3	20.0	21.0	1 (9.5")
DA-3	1423 CF	54	35	20.0	21.0	1 (9.5")
DA-4	2400 CF	48	35	20.0	21.5	2 (19")



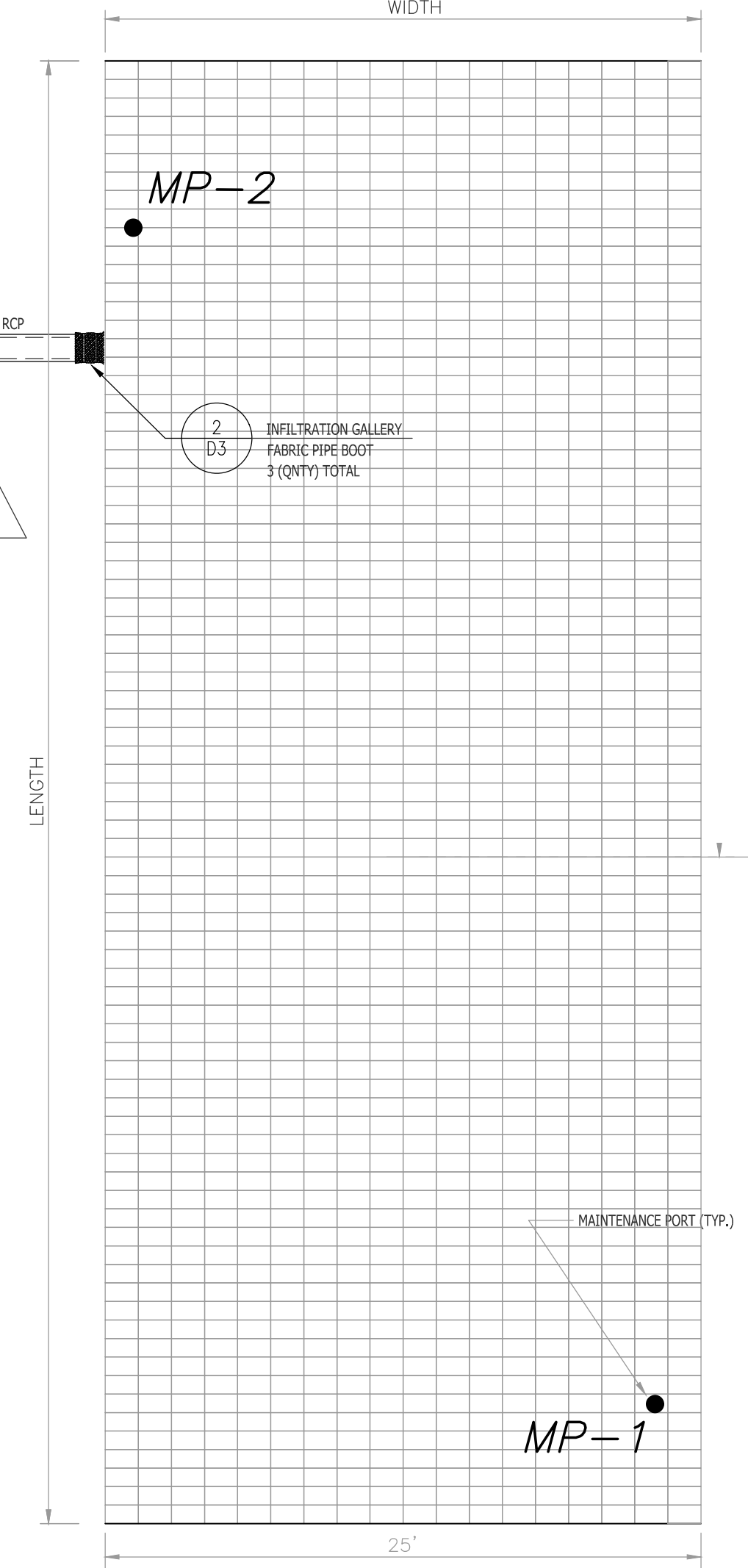
PLAN
INLET STRUCTURE
NOT TO SCALE



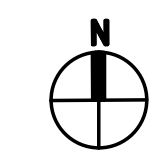
SECTION A - A
NOT TO SCALE

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV. NO.	DESCRIPTION	DATE



INFILTRATION GALLERY LAYOUT
NOT TO SCALE



CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT

WILMINGTON NEW HANOVER NORTH CAROLINA

SITE DETAILS

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE: 11/7/22

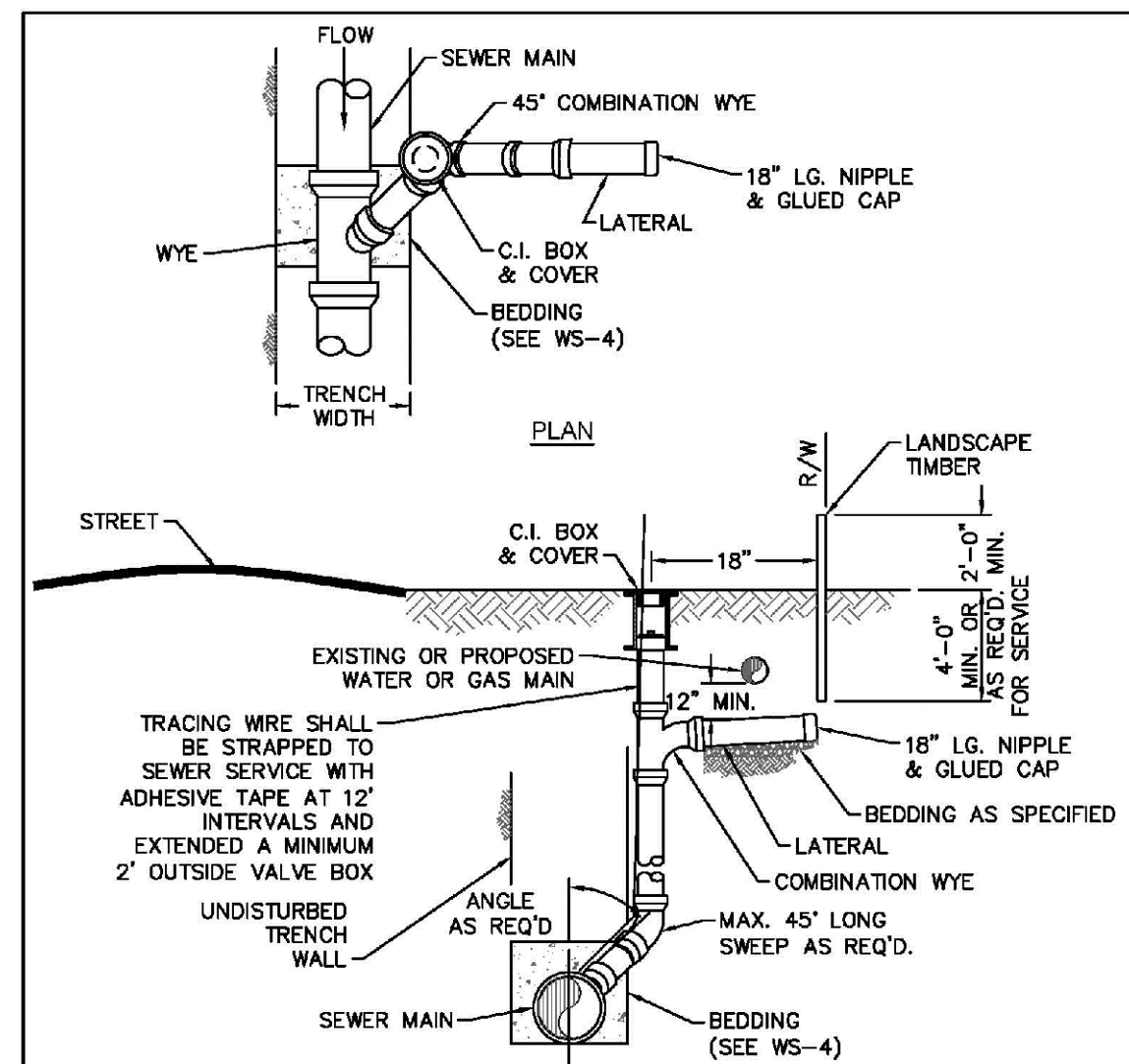
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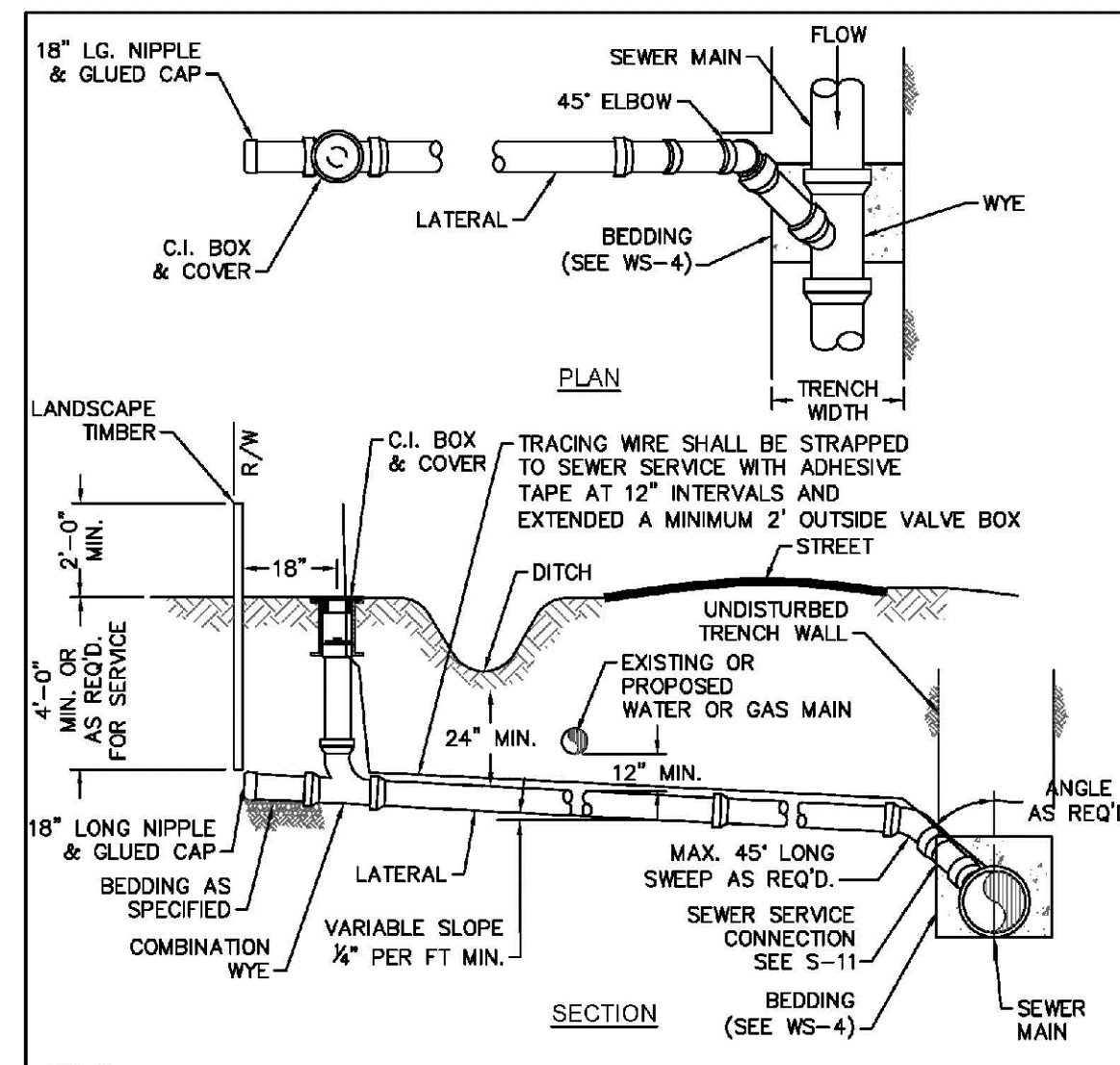
Project No: HA0121

Sheet No: D4



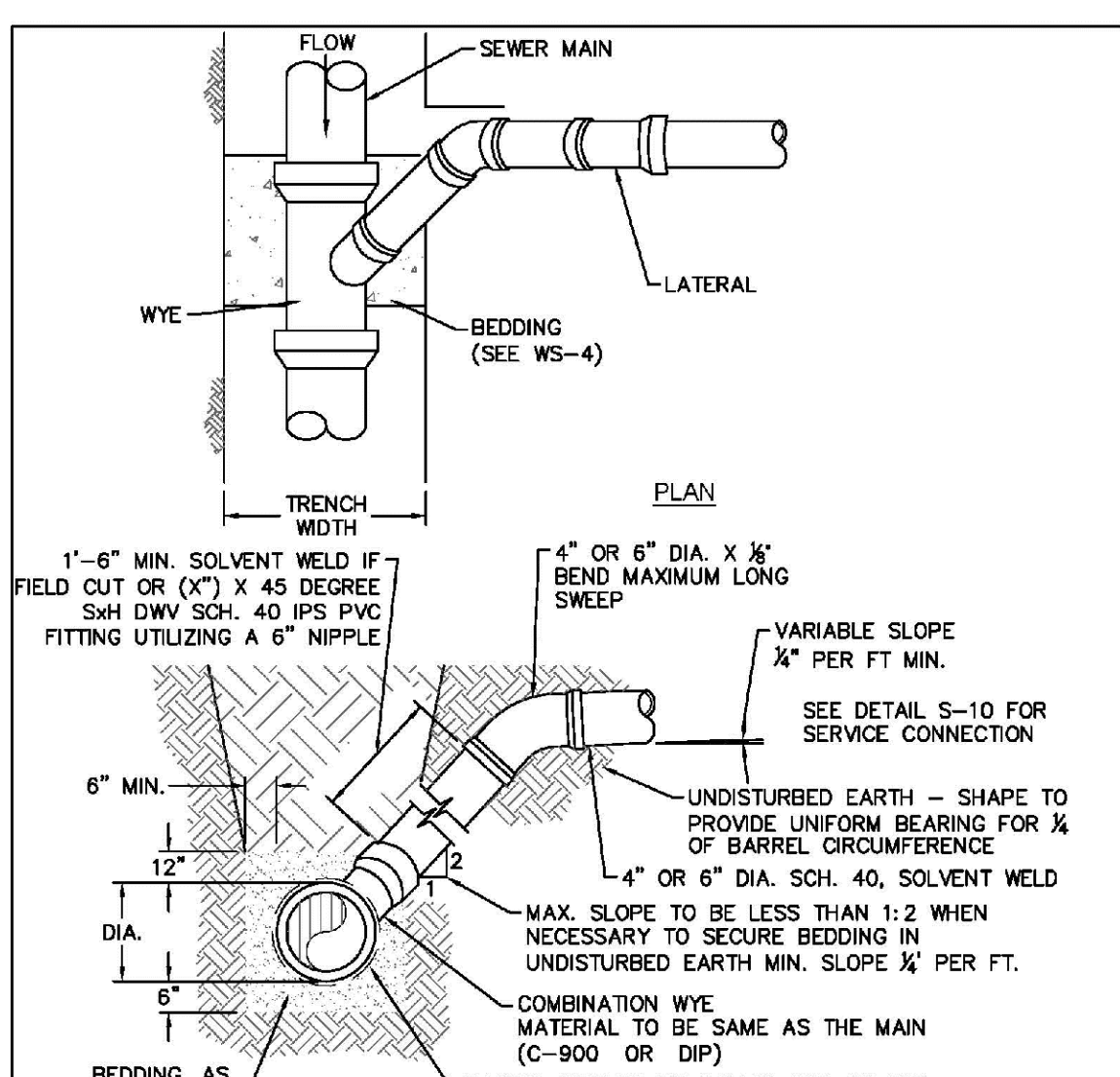
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 - A MINIMUM PIPING LENGTH OF 1' 6" SHALL BE USED BETWEEN FITTINGS.

DETAIL: SEWER SERVICE CONNECTION - SHORT-SIDE	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910) 332-6560	DETAIL NO: S-9
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/2022	SHEET NO: -



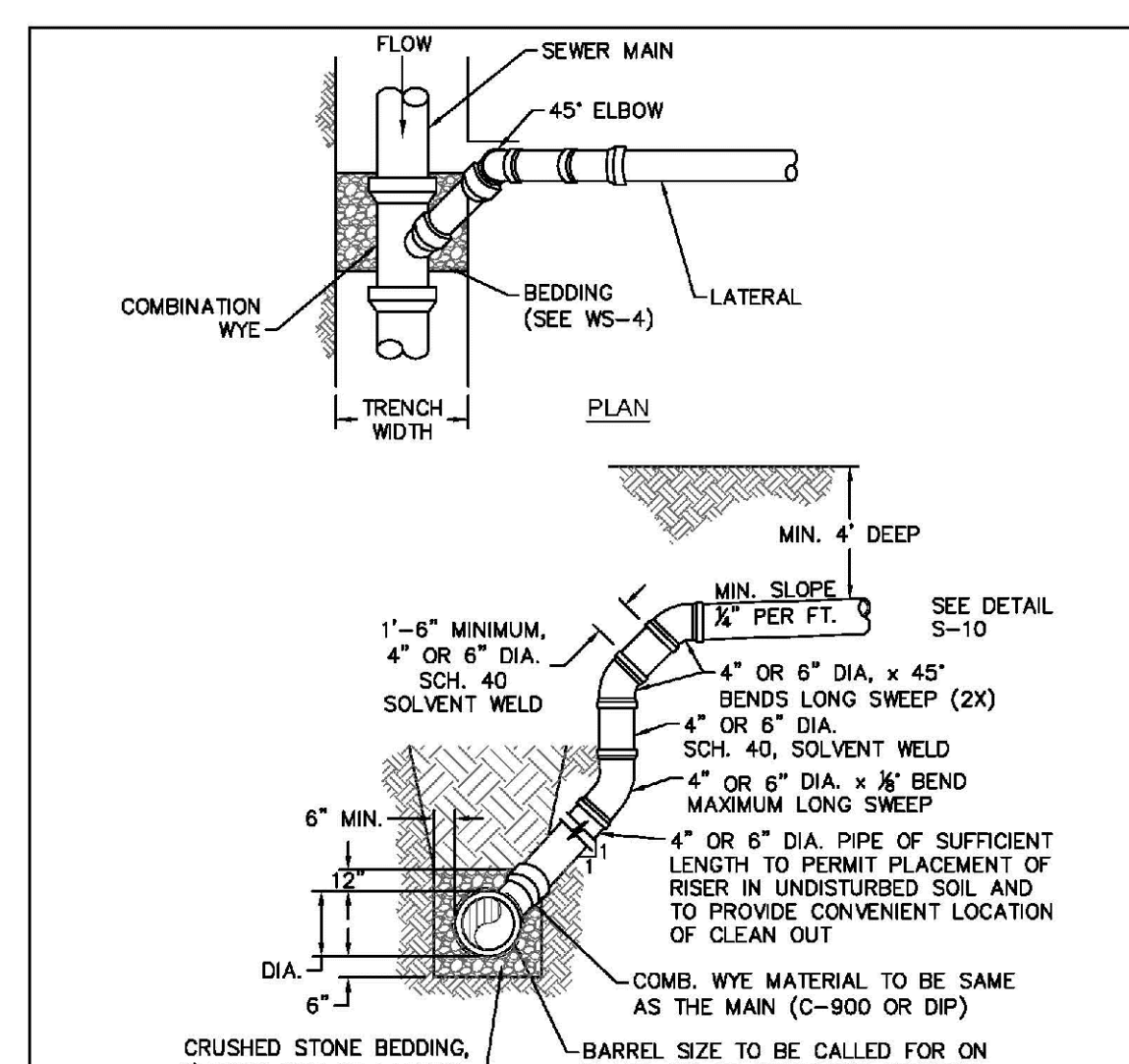
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SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/2022	SHEET NO: -



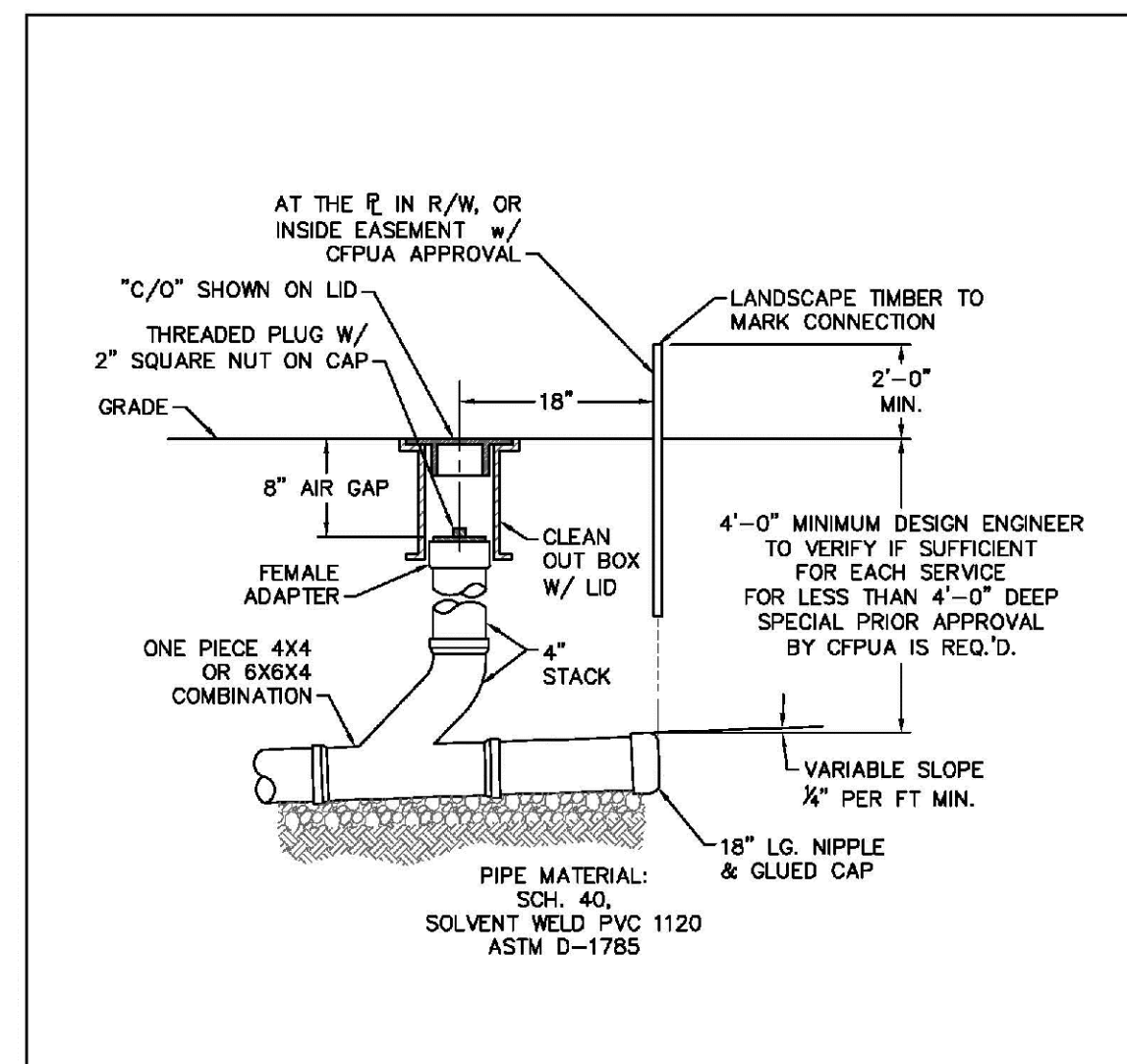
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DETAIL: SEWER SERVICE CONNECTION - MAIN TO LATERAL (LESS THAN 8' DEEP)	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910) 332-6560	DETAIL NO: S-11
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/2022	SHEET NO: -



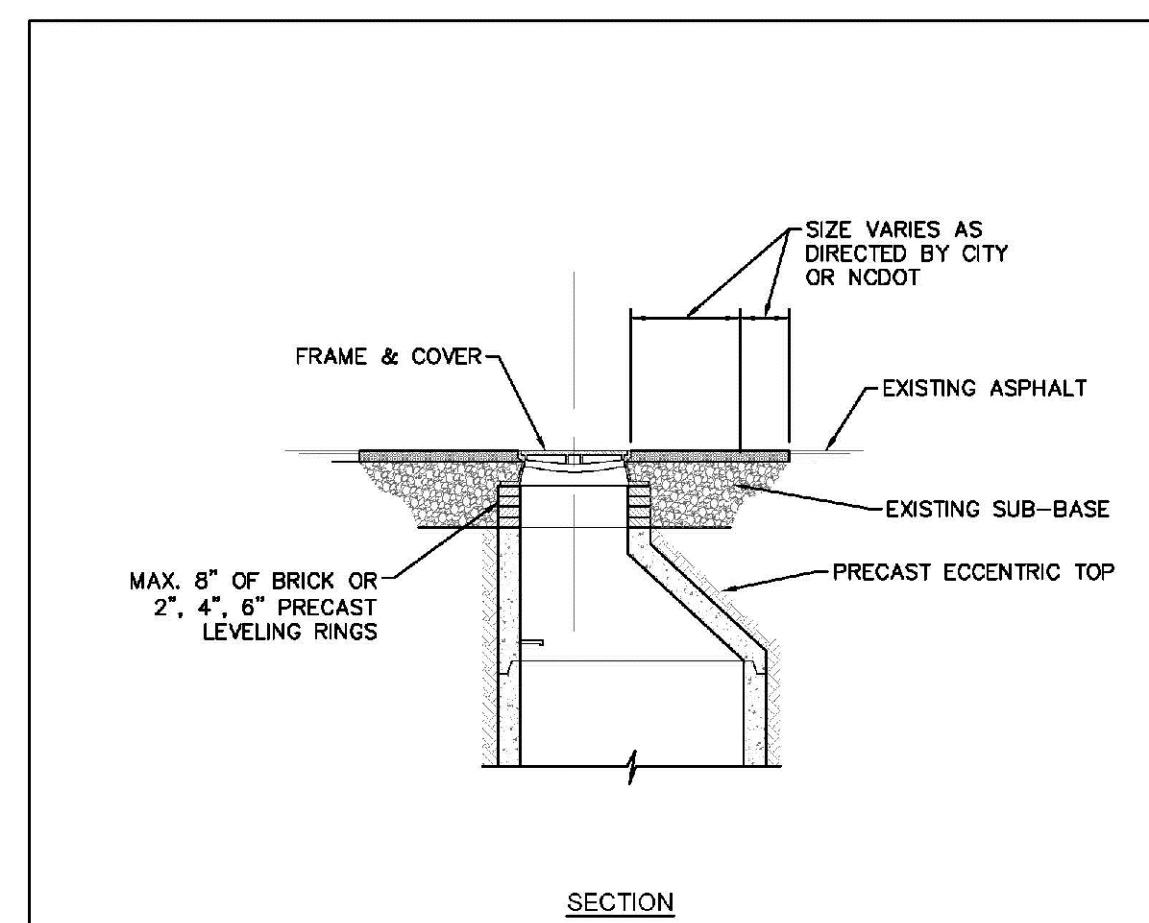
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DETAIL: SEWER SERVICE CONNECTION - MAIN TO LATERAL (GREATER THAN 8' DEEP)	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910) 332-6560	DETAIL NO: S-12
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/2022	SHEET NO: -



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DETAIL: SEWER SERVICE CONNECTION - TYPICAL CLEANOUT	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910) 332-6560	DETAIL NO: S-13
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/2022	SHEET NO: -



DETAIL: MANHOLE RIM ADJUSTMENTS	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910) 332-6560	DETAIL NO: S-15
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/2022	SHEET NO: -

FOR REGULATORY REVIEW
NOT FOR CONSTRUCTION

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

DATE: 11/7/22
Scale: AS SHOWN
Drawn: NNC
Checked: WSL
Project No: HA0121

SEWER
DETAILS

RIGHT ANGLE
ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

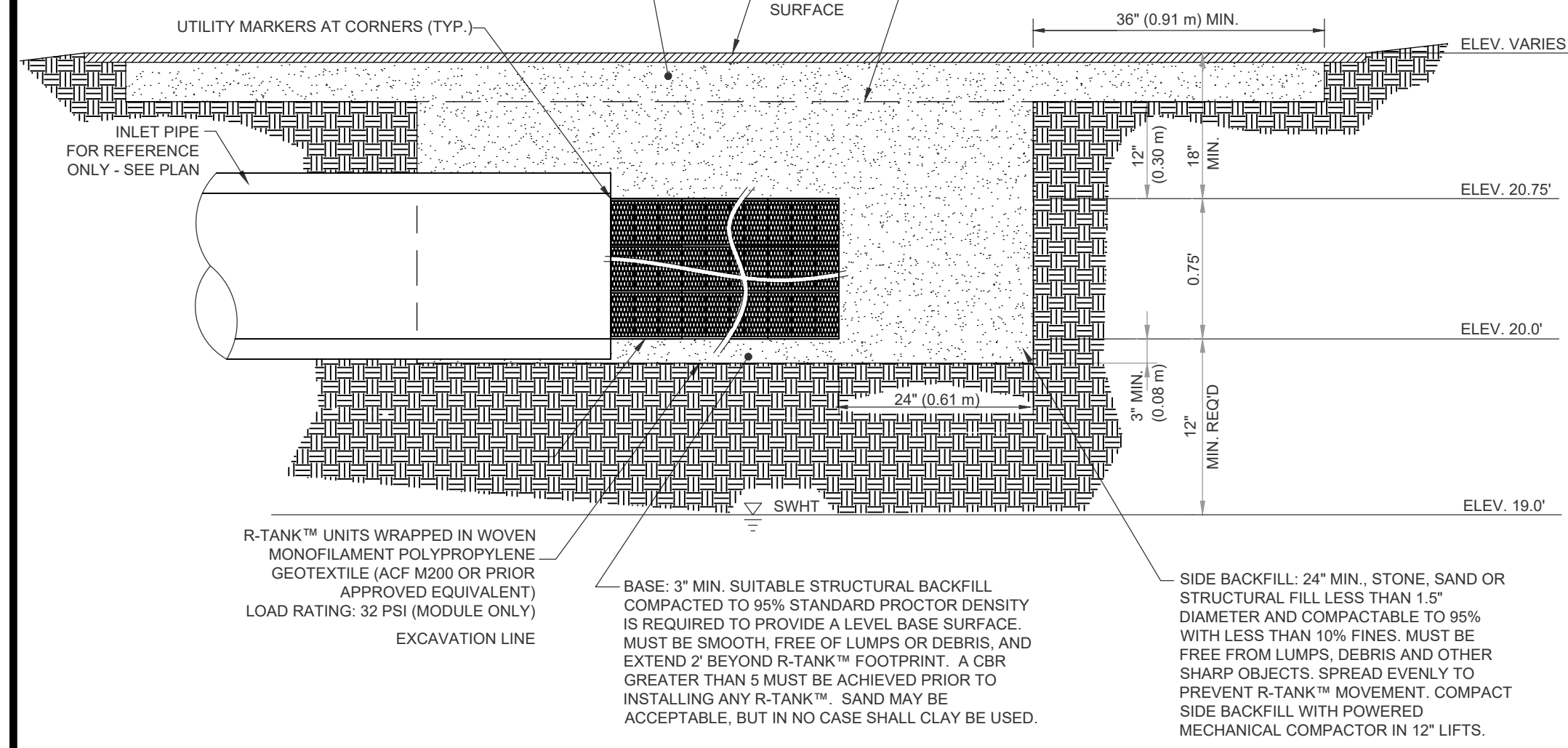
Sheet No: D6

REV. NO.	DESCRIPTION	DATE

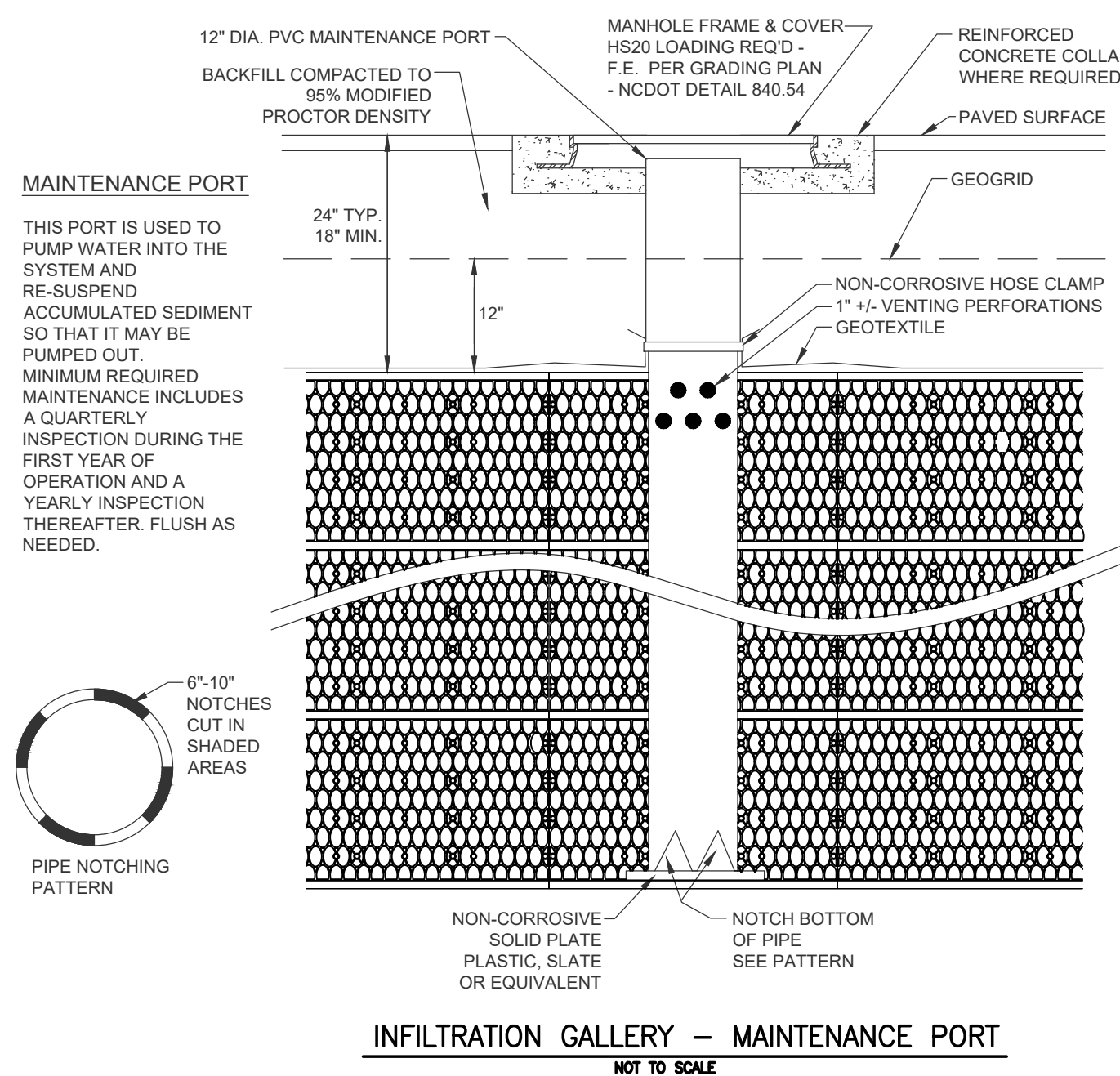
TOP BACKFILL: 18" MIN. STRUCTURAL FILL (24" RECOMMENDED, SIMILAR TO SIDE BACKFILL). MATERIAL ABOVE THE GEOGRID MAY VARY BASED ON INTENDED USE, BUT IN NO CASE SHOULD THE CLAY CONTENT EXCEED 10%. A MIN. 12" COVER MUST BE MAINTAINED BETWEEN BACKFILL EQUIPMENT AND THE TOP OF THE R-TANK™ SYSTEM AT ALL TIMES. FOR BEST RESULTS, PUSH OUT 14" TO MAINTAIN A MIN. 12" COVER REFER TO THE R-TANK™ INSTALLATION GUIDE FOR LISTING OF ACCEPTABLE EQUIPMENT. TOTAL HEIGHT OF TOP BACKFILL SHOULD NOT EXCEED 7' CONTACT ACF ENVIRONMENTAL IF MORE THAN 7' OR LESS THAN 24" OF TOP BACKFILL IS REQUIRED (FROM TOP OF TANK TO TOP OF PAVEMENT).

NOTES:

- FOR COMPLETE MODULE DATA, SEE APPROPRIATE R-TANK™ "SD" SHEET (SINGLE MODULE, DOUBLE MODULE, TRIPLE MODULE, QUAD MODEL, OR PENTA MODEL)
- INSTALLATIONS PER THIS DETAIL MEET GUIDELINES OF H20 LOADING PER THE 1983, 13TH EDITION OF THE AMERICAN ASSOCIATION OF STATE, HIGHWAY AND TRAFFIC OFFICIALS (AASHTO) STANDARD SPECIFICATIONS
- PRE-TREATMENT STRUCTURES NOT SHOWN
- GEOGRID (TENSAR BX-1200 OR EQUAL) PLACED 12" ABOVE THE R-TANK™ SYSTEM. OVERLAP ADJACENT PANELS BY 18" MIN. GEOGRID SHOULD EXTEND 3' BEYOND THE EXCAVATION FOOTPRINT.



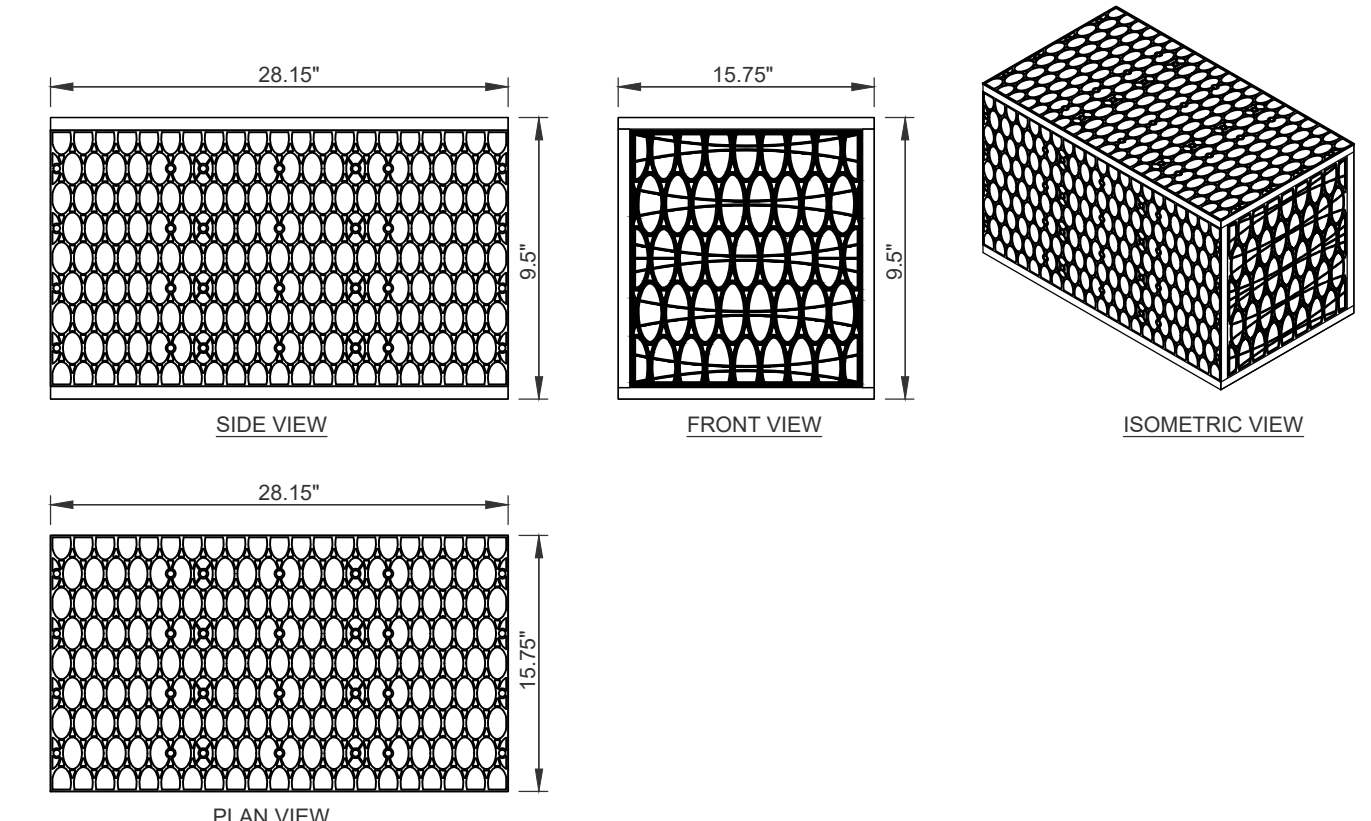
INFILTRATION GALLERY H2O LOADS
NOT TO SCALE



INFILTRATION GALLERY - MAINTENANCE PORT
NOT TO SCALE



PIPE NOTCHING PATTERN



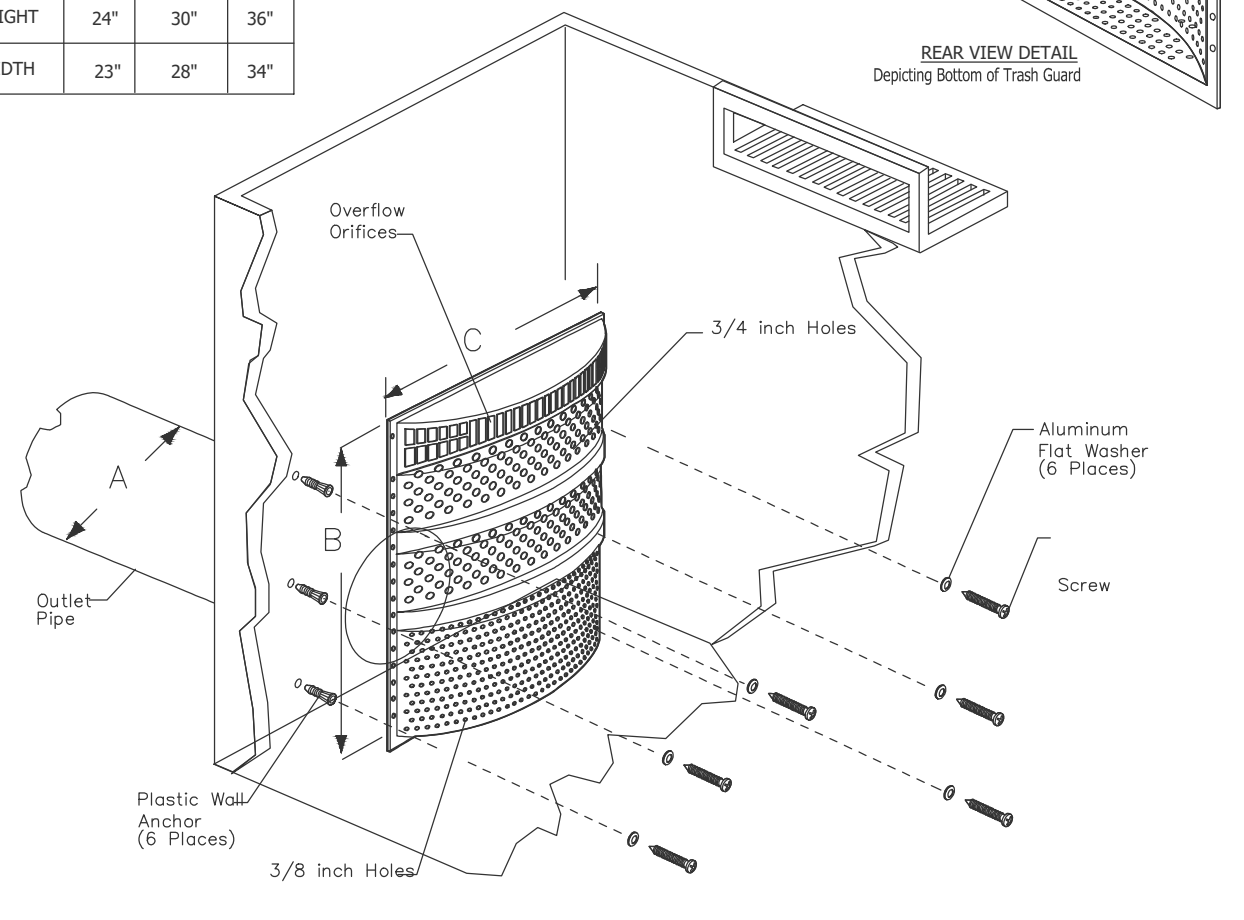
MODULE DATA - R-TANK S.D.

GEOMETRY: LENGTH = 28.15 IN. (715 MM)	LOAD RATING: 40 PSI, (MODULE ONLY)
WIDTH = 15.75 IN. (400 MM)	HS25, (WITH ACF COVER SYSTEM)
HEIGHT = 8.9" IN. (241.3 MM)	
STORAGE VOLUME = 2.42 CF (68.5 L)	MATERIAL: 85% RECYCLED POLYPROPYLENE
VOID INTERNAL VOLUME: 95%	
VOID SURFACE AREA: 90%	

INFILTRATION GALLERY - SINGLE MODULE
NOT TO SCALE

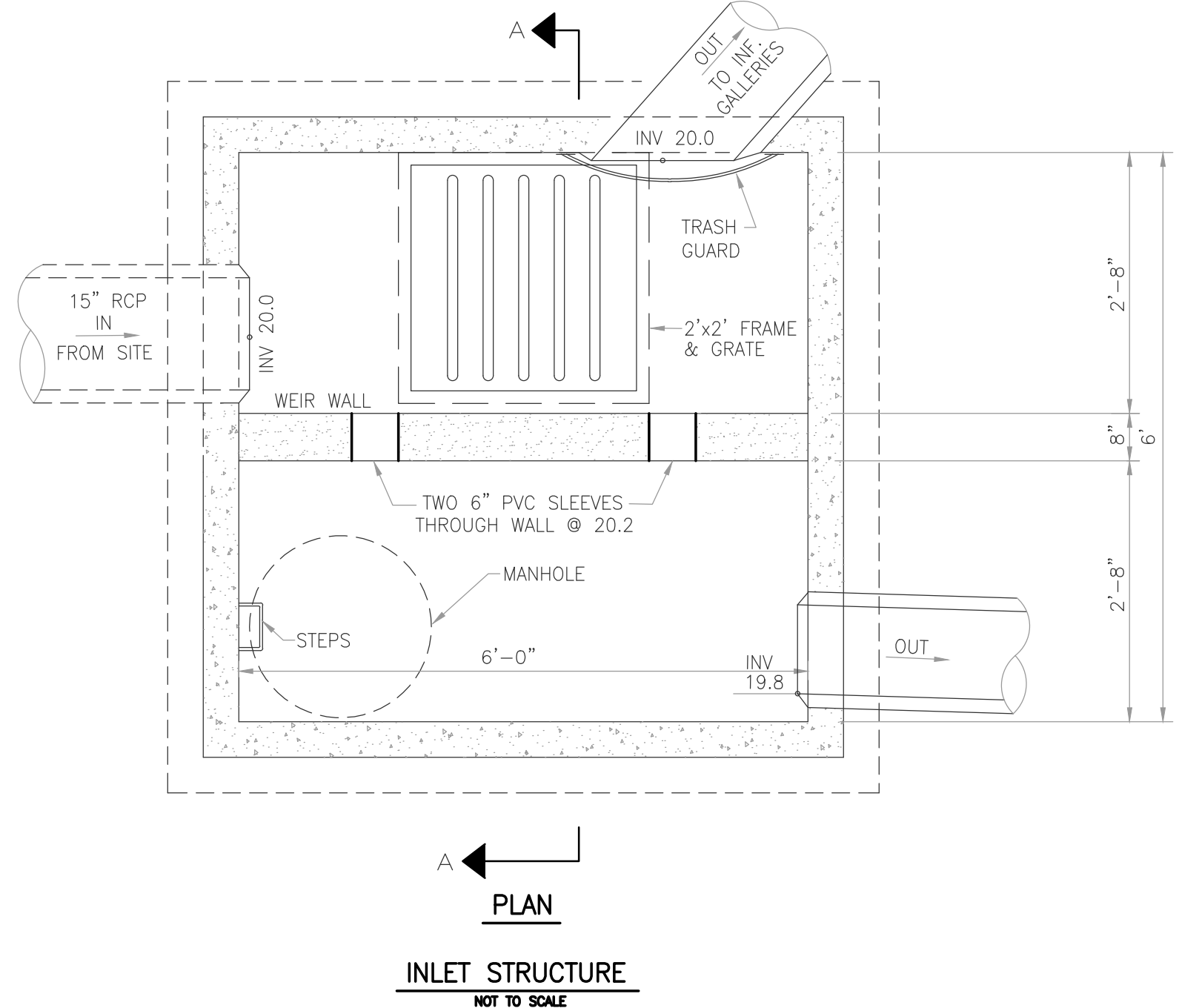
TRASHGUARD DETAILS

SIZES	23"	28"	34"
A PIPE DIAMETER	≤ 15	≤ 18	≤ 24
B HEIGHT	24"	30"	36"
C WIDTH	23"	28"	34"

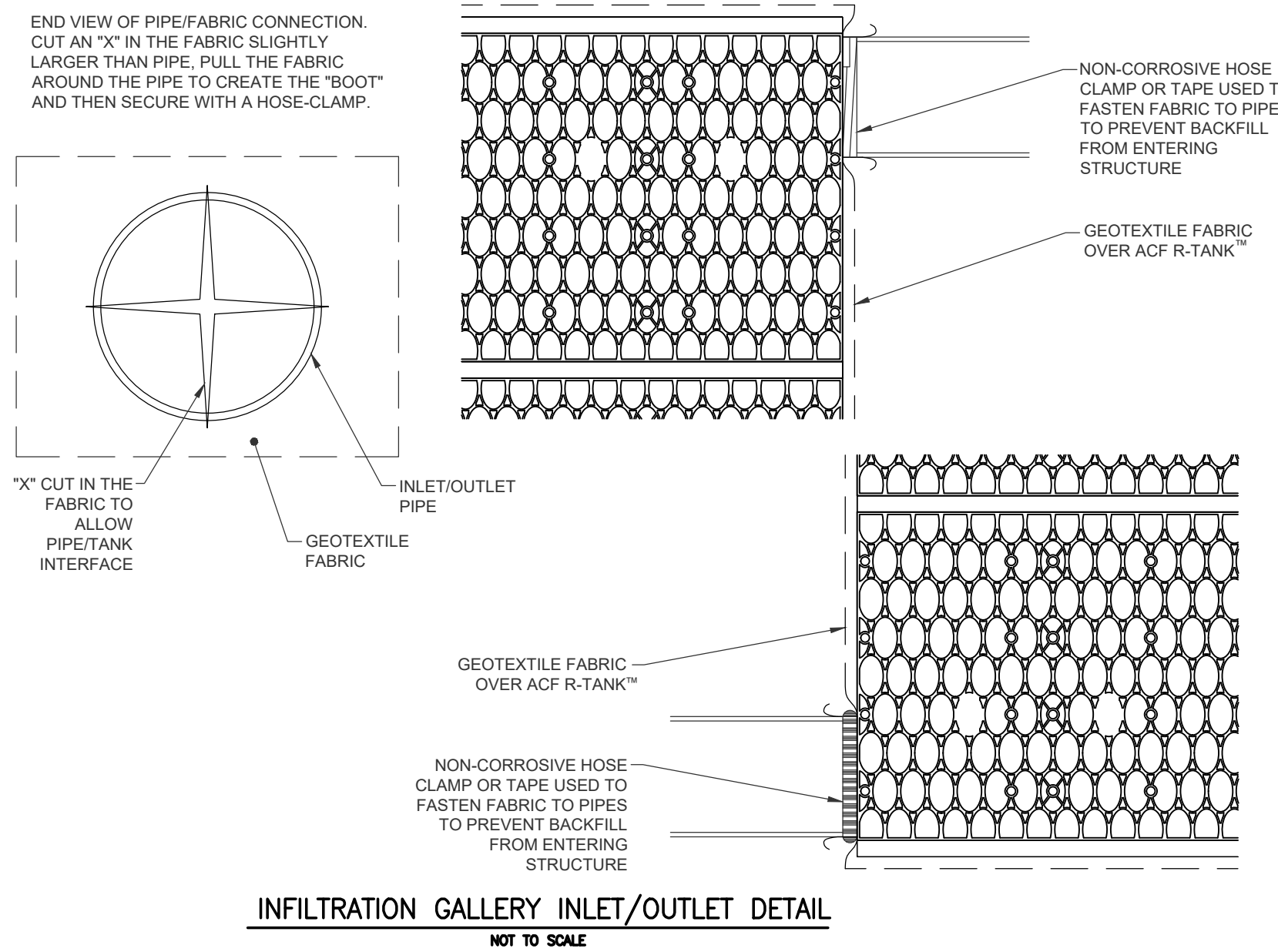


TRASH GUARD IN INLET STRUCTURE
NOT TO SCALE

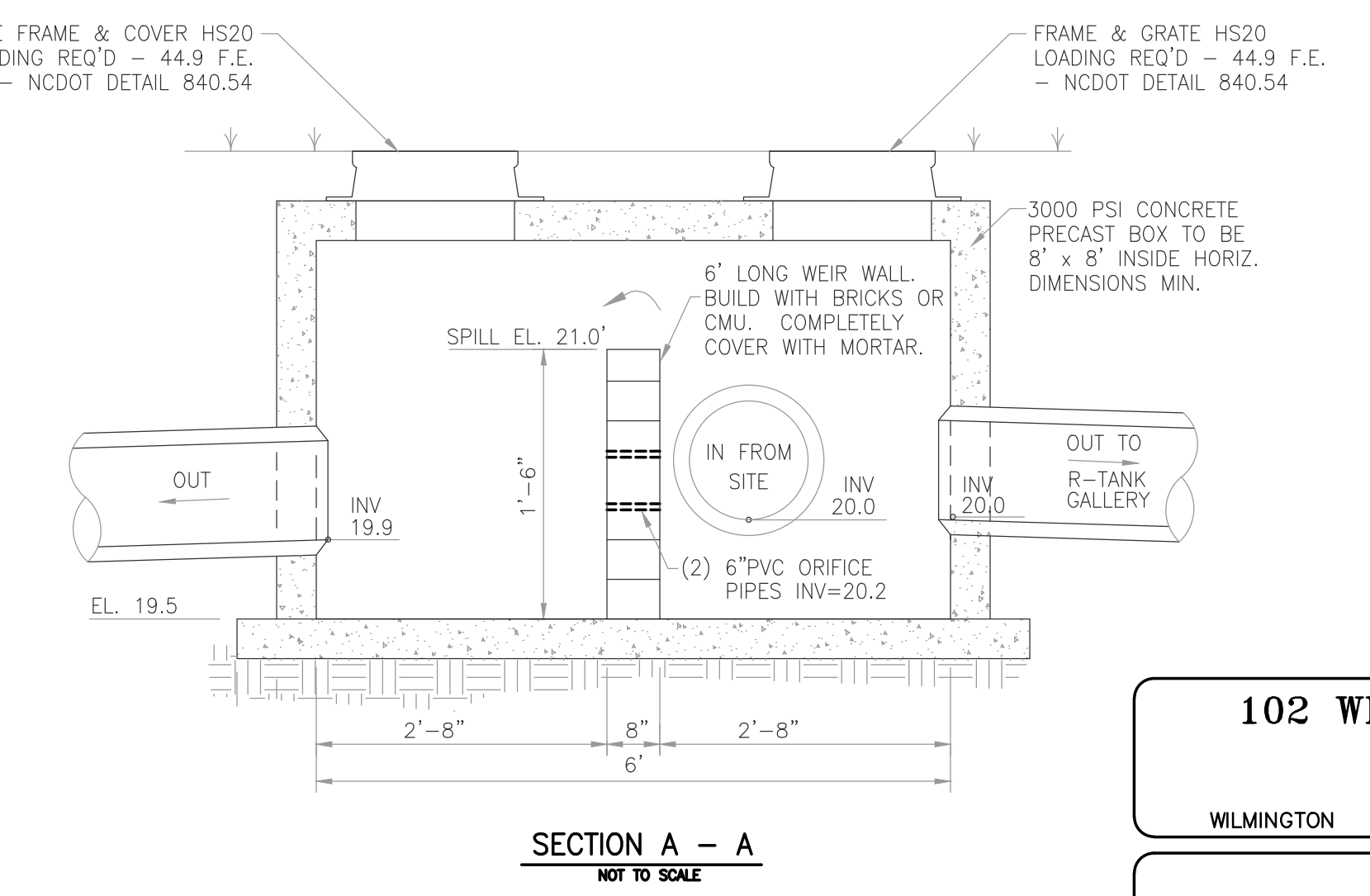
SYSTEM	STORAGE VOLUME	LENGTH	WIDTH	BOTTOM ELEV.	O.S. SPILLWAY ELEV.	MODULE HEIGHT
DA-1	1430 CF	53.3	38	20.0	21.0	1 (9.5")
DA-2	911 CF	53.3	18.3	20.0	21.0	1 (9.5")
DA-3	1423 CF	54	35	20.0	21.0	1 (9.5")
DA-4	2400 CF	48	35	20.0	21.5	2 (19")



INLET STRUCTURE
NOT TO SCALE



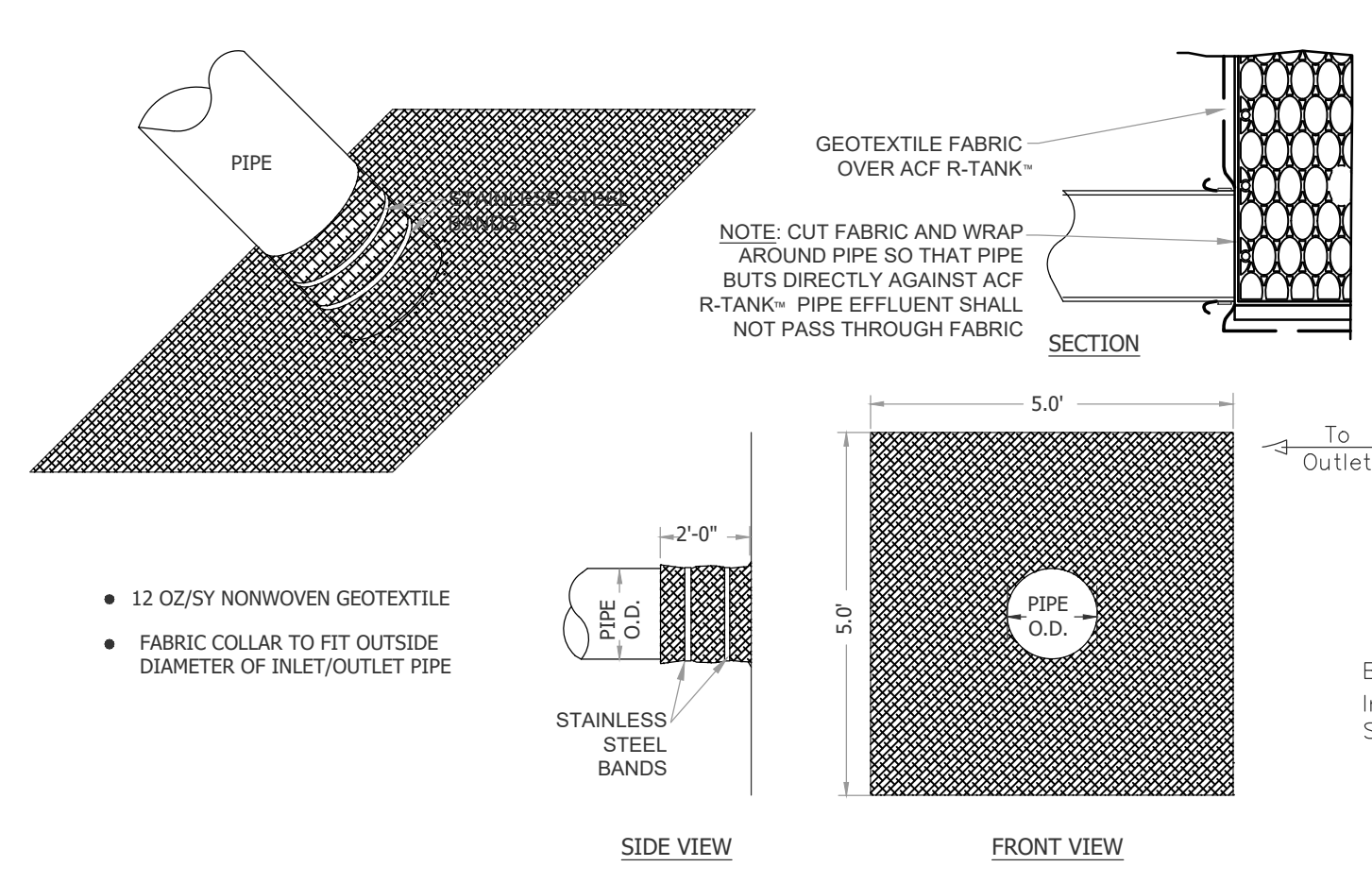
INFILTRATION GALLERY INLET/OUTLET DETAIL
NOT TO SCALE



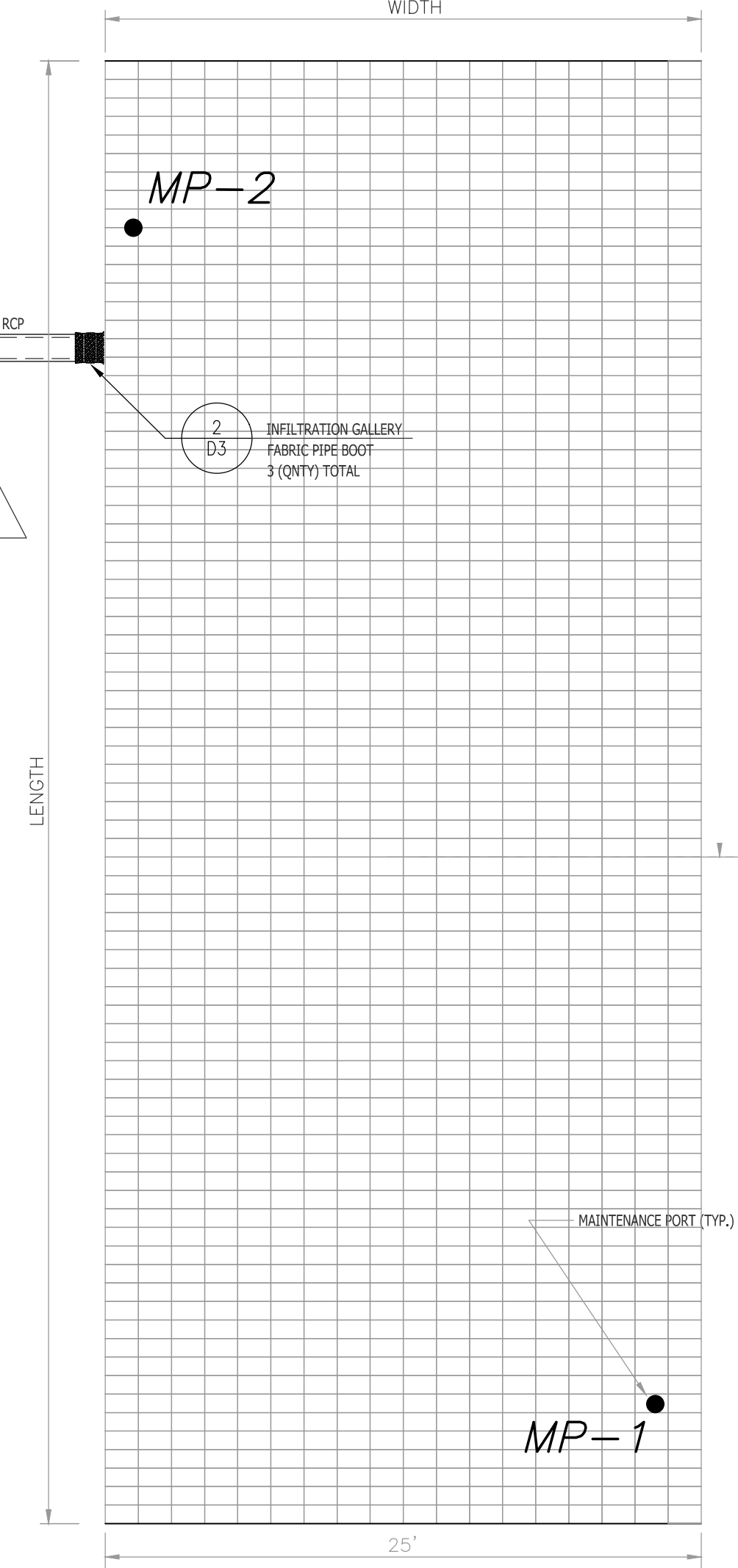
SECTION A - A
NOT TO SCALE

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

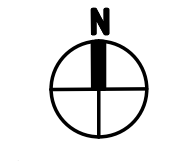
REV. NO.	DESCRIPTION	DATE



INFILTRATION GALLERY - FABRIC PIPE BOOT
NOT TO SCALE



INFILTRATION GALLERY LAYOUT
NOT TO SCALE



CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

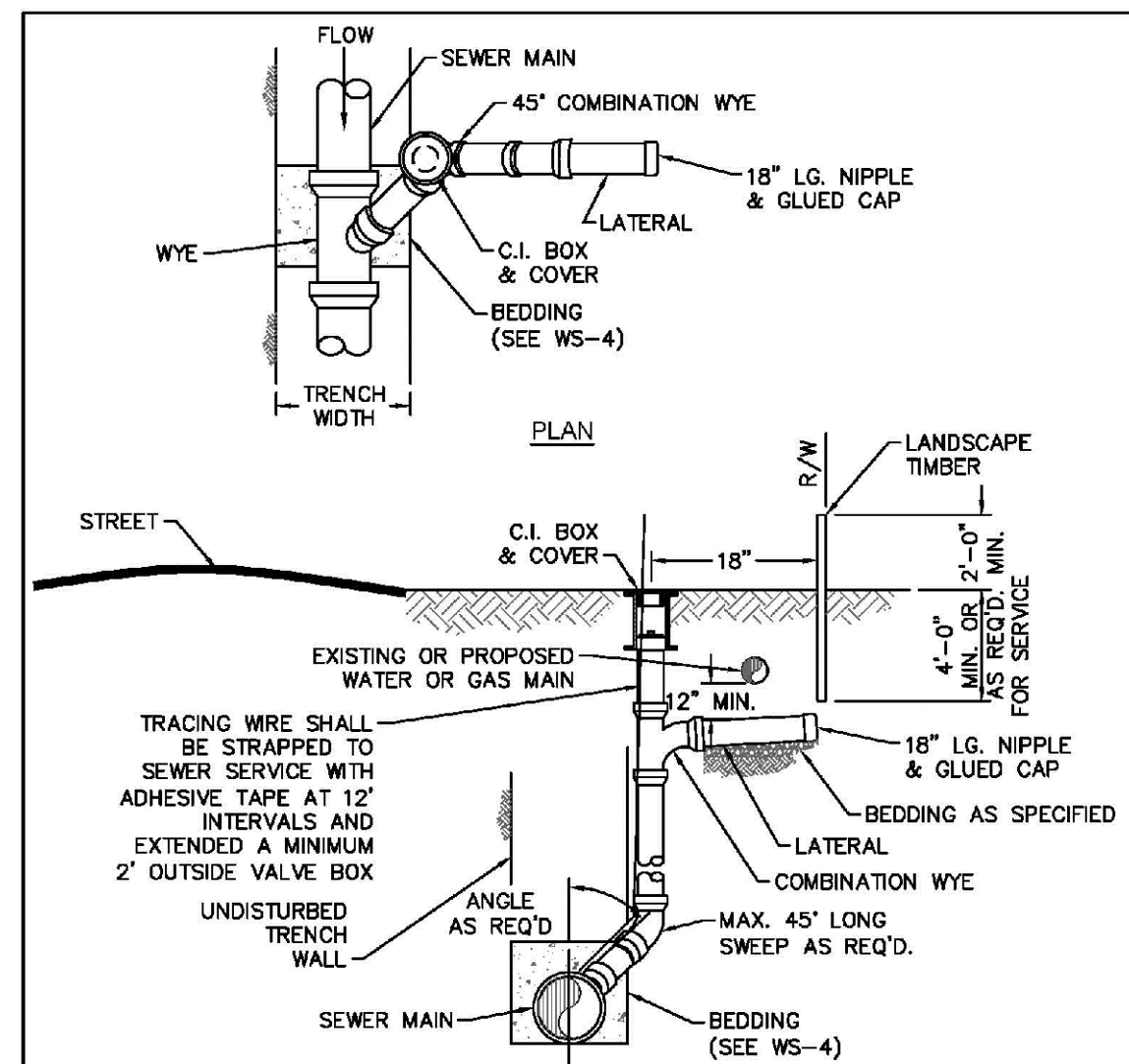
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NEW HANOVER NORTH CAROLINA

SITE DETAILS

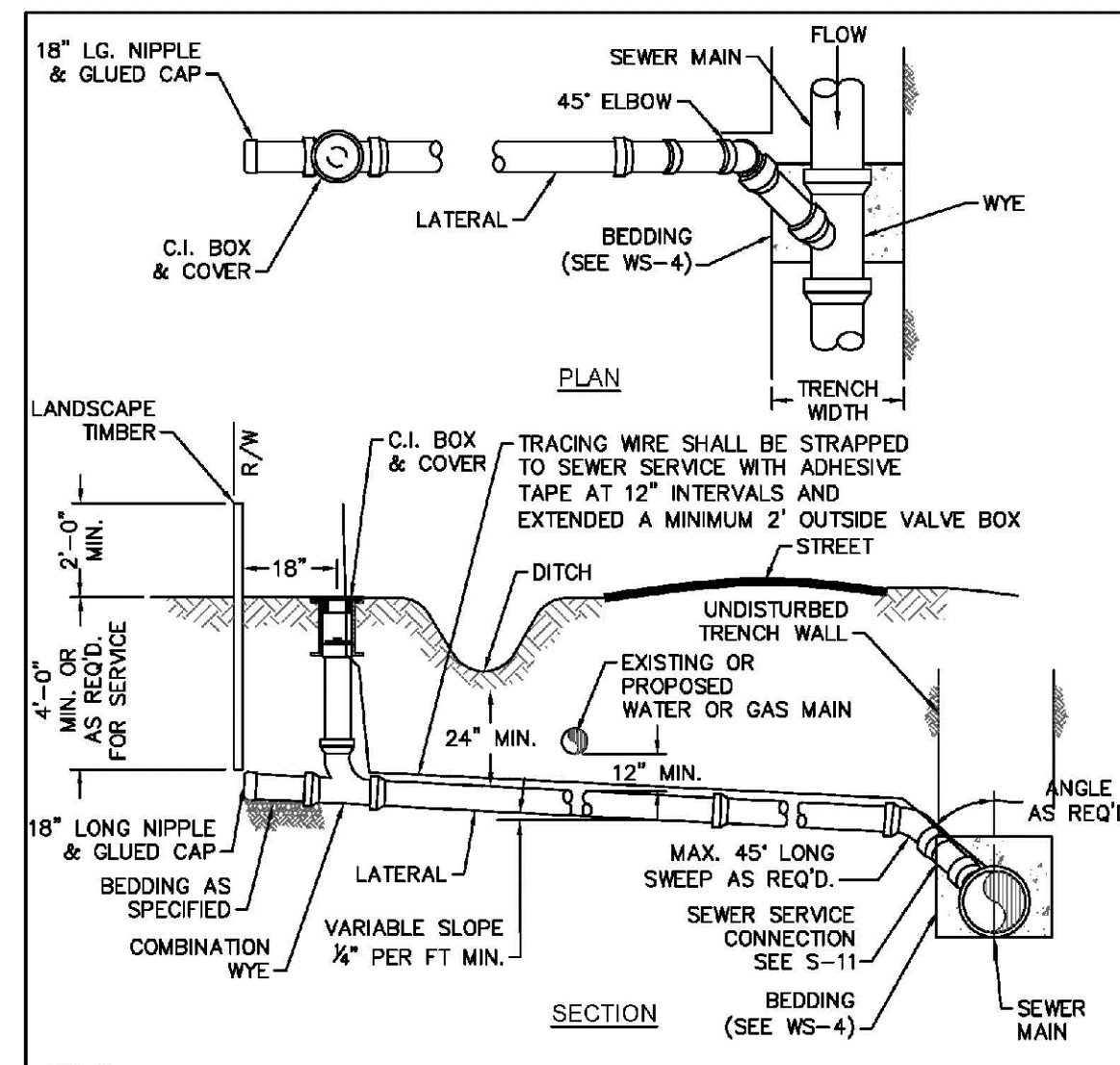
RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

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Project No: HA0121
Sheet No: **D4**



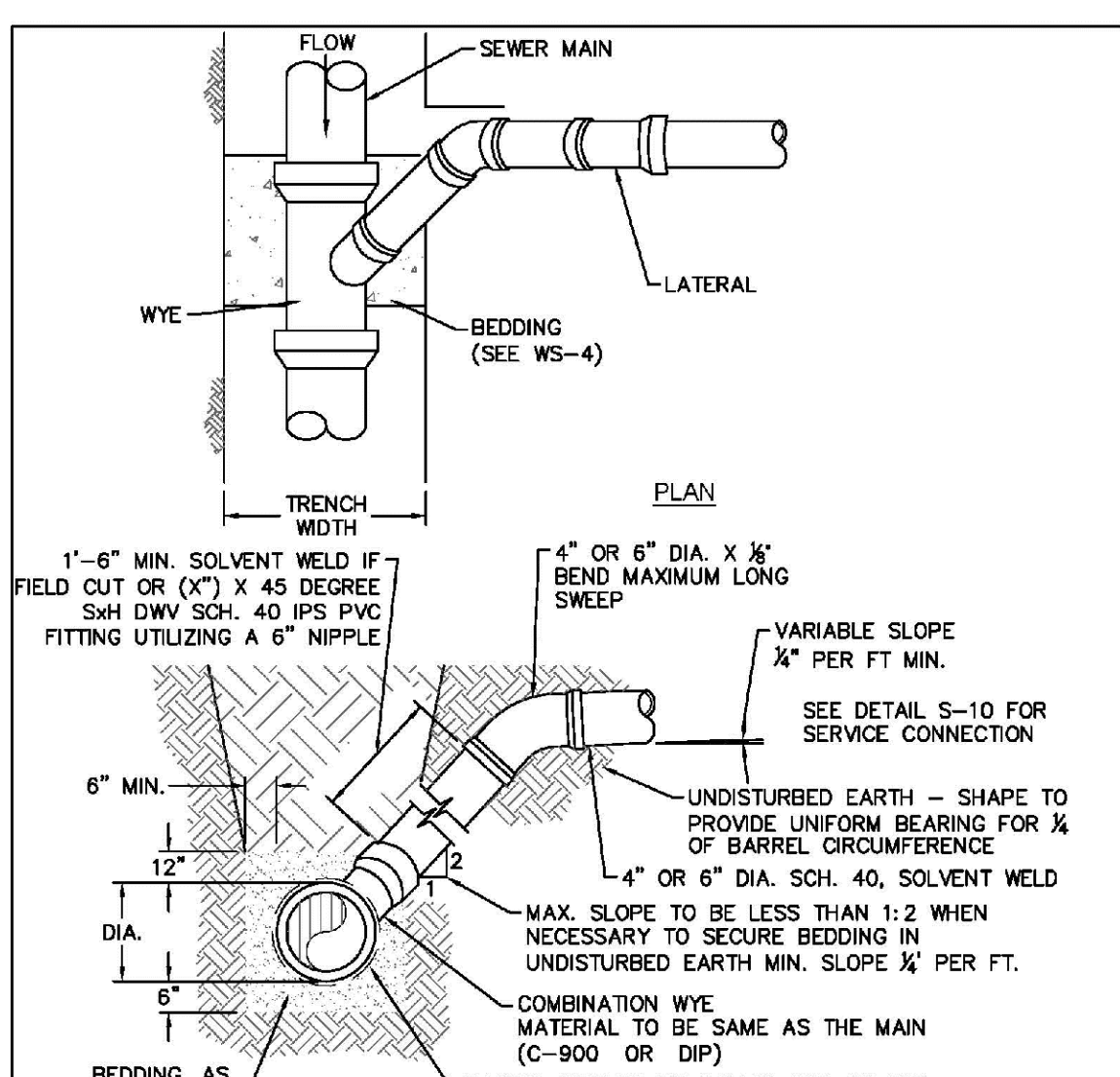
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SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/2022	SHEET NO: -



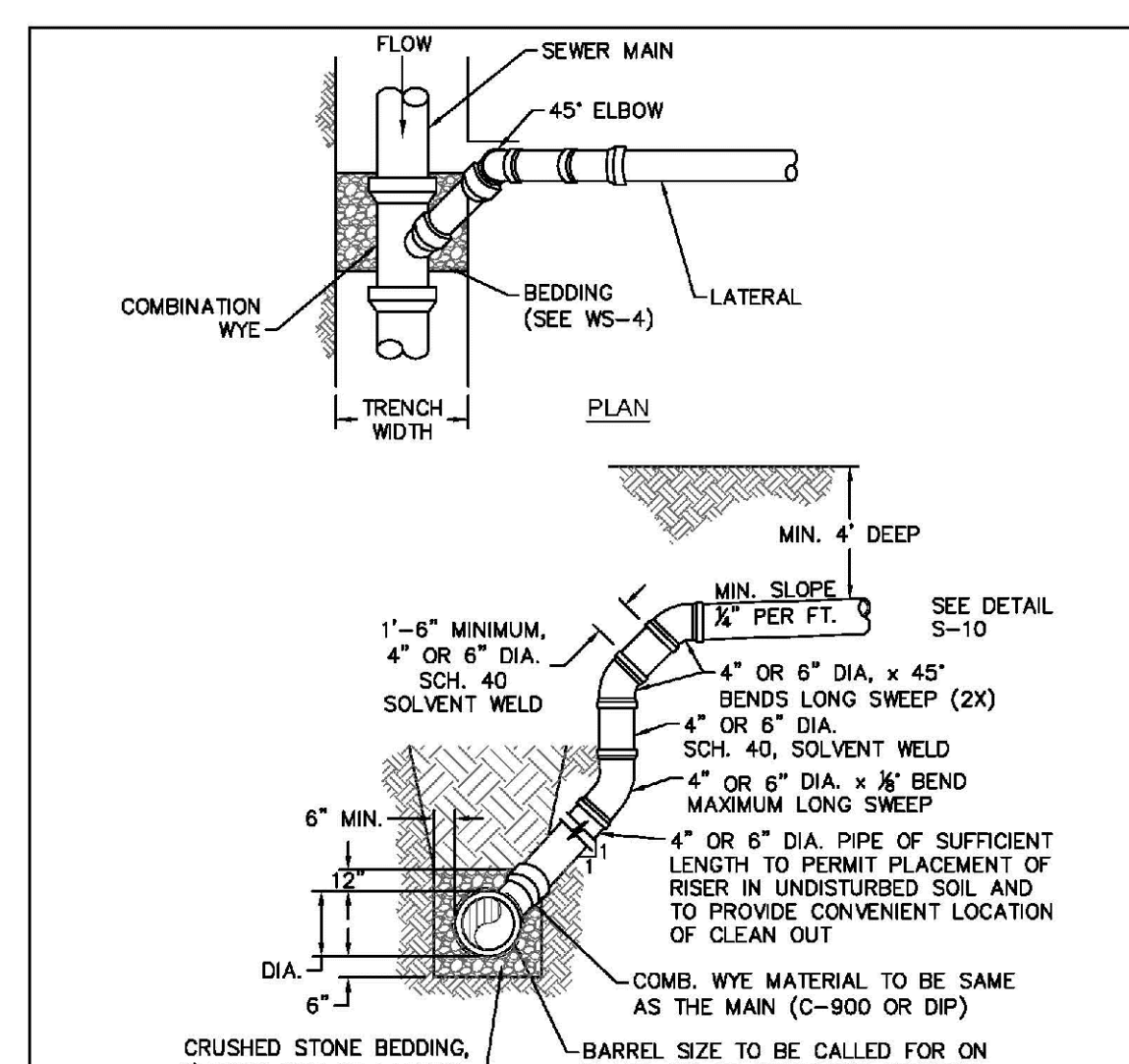
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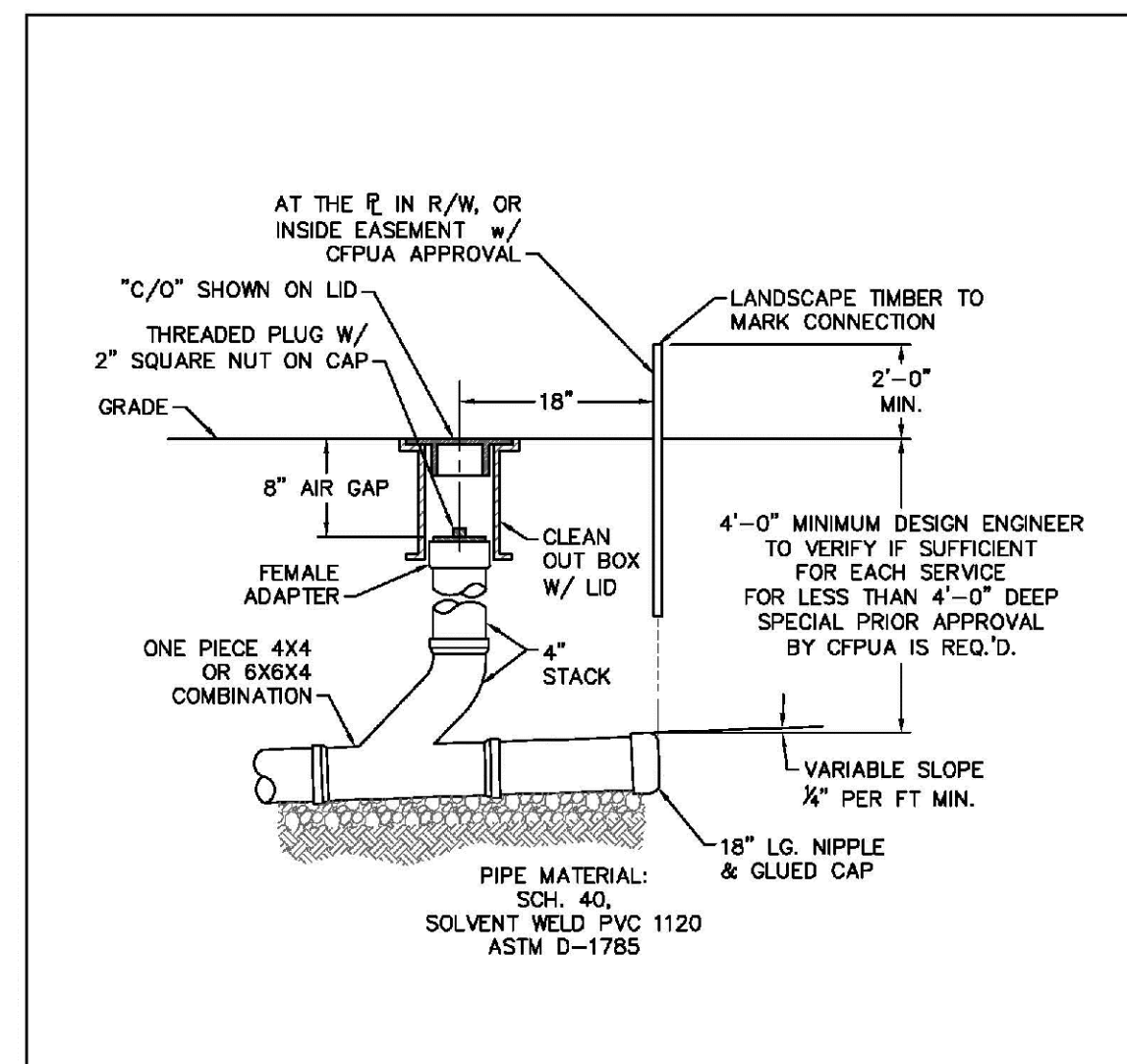
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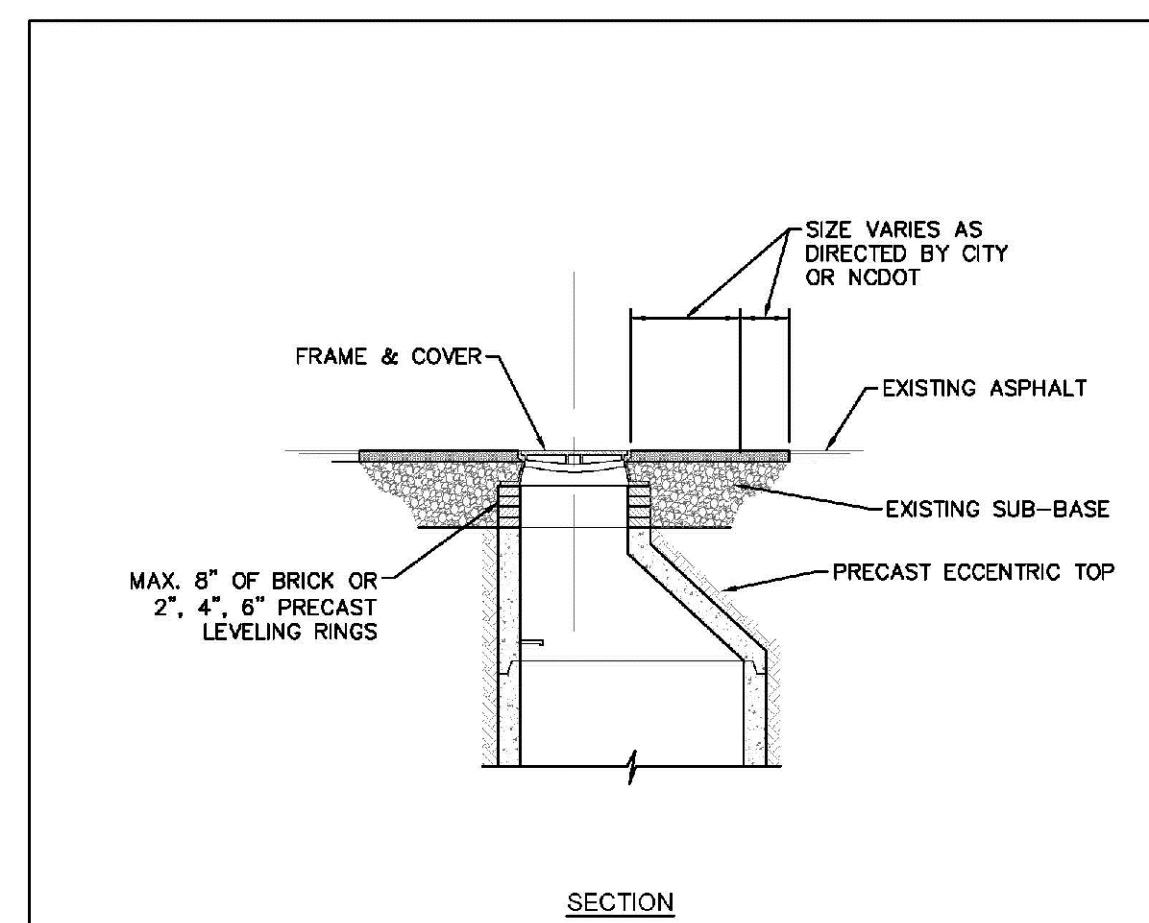
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SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/2022	SHEET NO: -



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SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/2022	SHEET NO: -

FOR REGULATORY REVIEW
NOT FOR CONSTRUCTION

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

DATE:
11/7/22
Scale:
AS SHOWN
Drawn:
NNC
Checked:
WSL
Project No:
HA0121

SEWER
DETAILS

RIGHT ANGLE
ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

Sheet No:
D6

REV. NO.	DESCRIPTION	DATE



Outdoor Lighting Mitchell LED Series



The energy-efficient features in the Mitchell LED Series enhance the character and prestige of streetscapes and parking lots, as well as pedestrian areas and greenways. These fixtures provide safety and security in commercial settings and complement any neighborhood with their classic, elegant design.

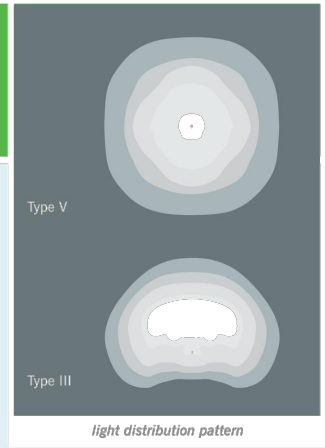
LED (Light Emitting Diode)	50 watts, 75 watts (Mitchell Open)
Mounting heights	12', 13', 16'
Color	Black
Poles	Fiberglass Smooth round concrete Style V Style VI Style VII

For additional information, visit us at duke-energy.com/outdoorlighting or call us toll free at 866.769.6417.



Outdoor Lighting Mitchell LED Series

Light source: LED (watts)
Lumens: 4,332 - 5,678 (fixture dependent)
Color temperature: 4,000K



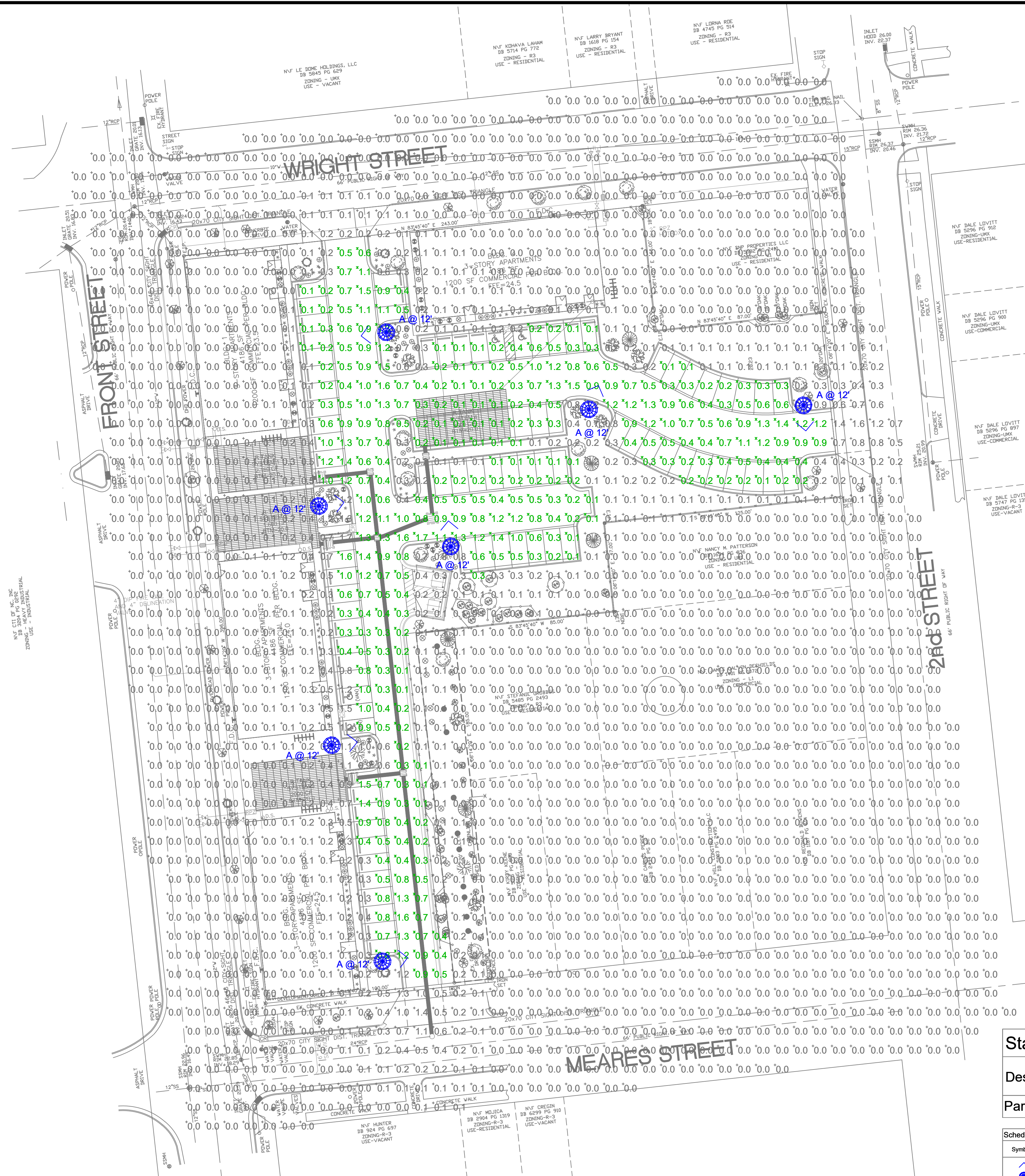
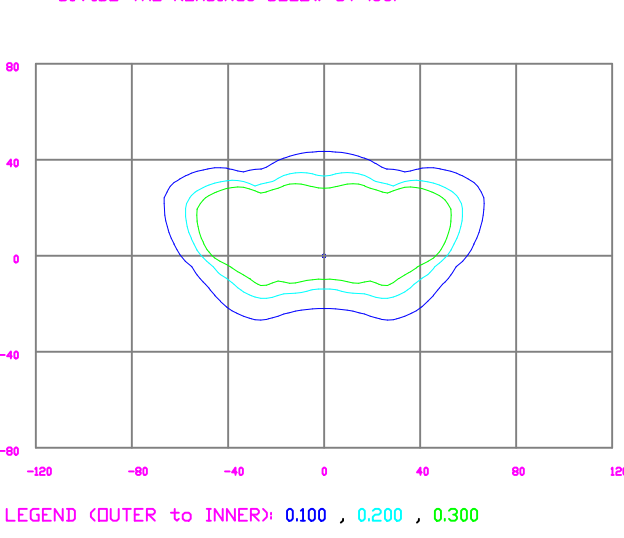
Fixture	Wattage	Light Pattern	IESNA Backlight - Uplight - Glare (BUG) Rating
Mitchell LED	50	IESNA Type V	83-104-G3
Mitchell Top Hat LED	50	IESNA Type V	83-104-G3
Mitchell Open LED	75	IESNA Type III	83-104-G1
Mitchell LED with Ribs, Bands and Medallions	50	IESNA Type V	83-104-G3
Mitchell Top Hat LED with Ribs, Bands and Medallions	50	IESNA Type V	83-104-G3

Poles available:		
Name	Mounting height	Color
Smooth concrete	12', 16'	Black
Fiberglass	16'	Black
Style V	12', 16'	Black
Style VI	12'	Black
Style VII	13'	Black

ISDFOOTCANDLE CURVES

FEATURES: MITCHELL LED w/ TOP HAT
MOUNTING HEIGHT: 12'
LIGHT SOURCE: 50W LED'S, 3000K
PATTERN TYPE: III, 82-144-G3
ASSY # LFIX-MTCH-LED-50-BLK-III-3000K-____-P

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LAMP LUMEN DEPRECIATION AND LUMINAIRE BEAM DEPRECIATION FOR INITIAL FOOTCANDLES. DIVIDE THE READINGS BELOW BY .85.



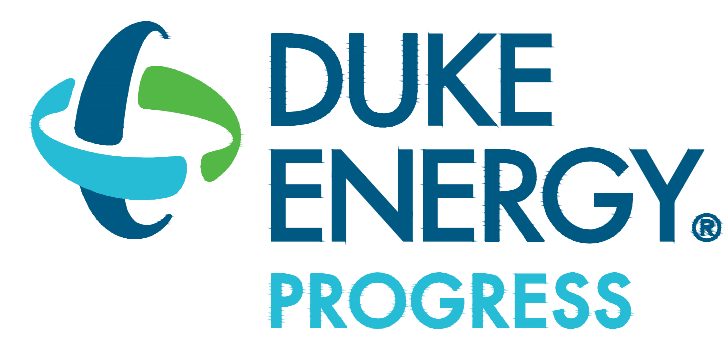
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	X	0.6 fc	1.7 fc	0.1 fc	17.0:1	6.0:1

Schedule						
Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
A	A	7	LED 50w Mitchell Top Hat - Type III - 3000K	1	6133	0.85

LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or structures) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



PROPRIETARY & CONFIDENTIAL

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THE BLOCK APARTMENTS

Wilmington, NC
SITE LIGHTING PLAN
Designed by <u>DEP LIGHTING SOLUTIONS</u>
Reviewed by <u>N. Johnson</u> Scale <u>1" = 30'</u>
Date <u>10/13/2022</u> Size <u>Arch D</u>
Description <u>LED Mitchell Top Hat - 12' Style V Pole</u>
Drawing No. <u>22-0276B</u> Sht. <u>1</u> OF <u>1</u>

REV#	DATE	REVISION	BY
Rev B	10/13/22	Town Comments	NJ
Rev A	07/07/22	Mitchell Top Hat - 3000K - Style VII Pole	NJ

Customer approval	Date